

Public Document Pack



RUSHMOOR BOROUGH COUNCIL

DEVELOPMENT MANAGEMENT COMMITTEE

*at the Council Offices, Farnborough on
Wednesday, 21st July, 2021 at 7.00 pm*

To:

VOTING MEMBERS

Cllr C.J. Stewart (Chairman)
Cllr L. Jeffers (Vice-Chairman)

Cllr Mrs. D.B. Bedford
Cllr P.I.C. Crerar
Cllr Michael Hope

Cllr J.H. Marsh
Cllr Nadia Martin
Cllr S.J. Masterson

Cllr T.W. Mitchell
Cllr Sophie Porter
Cllr Nem Thapa

NON-VOTING MEMBER

Cllr Marina Munro (Cabinet Member for Planning and Economy) (ex-officio)

STANDING DEPUTIES

Cllr A.K. Chowdhury
Cllr A.J. Halstead

Enquiries regarding this agenda should be referred to
Kathy Flatt, Democracy and Community
01252 398829 kathy.flatt@rushmoor.gov.uk

A G E N D A

1. **DECLARATIONS OF INTEREST** – (Pages 1 - 2)

All Members who believe they have a prejudicial interest in any matter to be considered at the meeting may not participate in any discussion or vote taken on the matter and if the interest is not registered it must be disclosed to the meeting. In addition, Members are required to leave the meeting while the matter is discussed.

a) **Amendment Sheet**

2. **MINUTES** – (Pages 7 - 24)

To confirm the Minutes of the meeting held on 26th May 2021 (copy attached).

3. **PLANNING APPLICATIONS** – (Pages 25 - 128)

To consider the Head of Economy, Planning and Strategic Housing's Report No. EPSH2119 on planning applications recently submitted to the Council (copy attached).

Sections A & B of the report set out the items to be considered at future meetings and petitions received:

Item	Reference Number	Address	Recommendation
1	20/00400/FULPP	Former Lafarge Site, Hollybush Lakes, Aldershot	For information
2	21/00271/FULPP	Block 3, Queensmead, Farnborough	For information
3	21/00074/FULPP	ASDA Click and Collect Facility, Farnborough	For information

Section C of the report sets out planning applications for determination at this meeting:

Item	Pages	Reference Number	Address	Recommendation
4	27-58	21/00333/FULPP	Parsons Barracks Car Park, Ordnance Road, Aldershot	Grant
5	59-86	21/00231/FULPP	Nos. 209-211 Lynchford Road, Farnborough	Grant, subject to completion of Section 106 Planning Agreement

Section D of the report sets out planning applications which have been determined under the Council's scheme of delegation for information.

4. **APPEALS PROGRESS REPORT – (Pages 129 - 130)**

To receive the Head of Economy, Planning and Strategic Housing's Report No. EPSH2120 (copy attached) on the progress of recent planning appeals.

5. **ENFORCEMENT AND POSSIBLE UNAUTHORISED DEVELOPMENT – (Pages 131 - 134)**

To consider the Head of Economy, Planning and Strategic Housing's Report No. EPSH2121 (copy attached) which reports on cases of planning enforcement and possible unauthorised development.

6. **ESSO PIPELINE UPDATE – (Pages 135 - 136)**

To receive an update from the Head of Economy, Planning and Strategic Housing on the current position with regard to the Development Consent Order issued in respect of the Major Infrastructure Project to renew and partially realign the Southampton to London fuel pipeline which crosses Rushmoor Borough (Ref: 19/00432/PINS).

MEETING REPRESENTATION

Members of the public may ask to speak at the meeting, on the planning applications that are on the agenda to be determined, by writing to the Committee Administrator at the Council Offices, Farnborough by 5.00 pm on the day prior to the meeting, in accordance with the Council's adopted procedure which can be found on the Council's website at

<http://www.rushmoor.gov.uk/speakingatdevelopmentmanagement>

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**DEVELOPMENT CONTROL COMMITTEE – 21ST JULY 2021
DECLARATIONS OF INTEREST**

NAME: COUNCILLOR _____

N.B. A declaration is not required for items that appear either in Section D of the Planning Report or the Appeals Progress Report as such items are for noting only.

Agenda Item No.	Planning Application No.	Application Address	Reason

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AMENDMENT SHEET FOR
DEVELOPMENT MANAGEMENT COMMITTEE
21 July 2021

AGENDA

Amended Wording for 1. DECLARATIONS OF INTEREST:

All Members who have or believe that they have any interest under the Rushmoor Borough Council Councillor's Code of Conduct adopted April 2021 in any matter to be considered at the meeting are required to disclose that interest at the start of the meeting (preferably) or as soon as possible thereafter and to take the necessary steps in light of their interest as to any participation in the agenda item. ~~All Members who believe they have a prejudicial interest in any matter to be considered at the meeting may not participate in any discussion or vote taken on the matter and if the interest is not registered it must be disclosed to the meeting. In addition, Members are required to leave the meeting while the matter is discussed.~~

AGENDA ITEM No.2 : Minutes of 26 May 2021 DM Committee Meeting

A. Recommended Amended Wording : Page 3 : 1. DECLARATIONS OF INTEREST:

Having regard to the Members' Code of Conduct, the following declarations of interest were made. ***All Members who had or believed that they had any interest under Rushmoor Borough Council Councillor's Code of Conduct adopted April 2021 in any matter to be considered at the meeting disclosed that interest at the start of the meeting or as soon as possible thereafter and took the necessary steps in light of their interest as to any participation in the agenda item*** ~~Members with a non-registerable interest left the meeting during the debates and voting on the relevant agenda items:~~

B. Also the following corrections to the recorded Member interests that follow:

Next to the names Cllr Bedford and Cllr Masterson, rather than saying "non-registerable" it should say "**for noting**". Likewise, next to Cllr Stewart in relation to the Conference Centre items x 2 and the Heritage site (the last three matters out of four for Cllr Stewart) it should also state "**for noting**".

AGENDA ITEM No.3 : Section C : Item 4: Page 27

Application No.	21/00333/FULPP
Proposal	Erection of 3 storey, 66-bed care home for general residential and dementia elderly people, with associated car parking, access and landscaping
Address	Parsons Barracks Car Park Ordnance Road Aldershot

Correction/Updates to the Officer Report:

A. Consultations : Natural England has confirmed that they have no objections to the conditions relating to the use of the proposed Care Home as set out in the Report.

B. Delete 4th Paragraph of Commentary Section 2. Visual Impact (Page 38) and replace with:

Given the evident amenity and screening value of the trees located on the road frontage embankment of the application site, it is considered that the proposed development has been designed to provide adequate separation from them. The submitted Arboricultural Report tree survey reveals a total of 45 items of vegetation (36 individual trees and 9 groups of trees). Of these, 5 trees were identified as retention category 'A', 16 trees and 6 groups were identified as retention category 'B', 14 trees and 3 groups as retention category 'C' and 1 tree as category 'U'. None of the trees at the site are subject to a Tree Preservation Order (TPO), but all but three trees are to be retained. The trees that would be lost are: T24 : a U-category young Robinia with decay and likely to have short life; T28 : an early mature B-category Oak tree that would be located too close to the proposed building; and T35 : a B-category early mature Birch tree with a lean that would conflict with a drainage installation for the site. The Report submitted with the application assesses both the condition/quality of the trees, provides appropriate justification for the trees to be removed; and also sets out recommended tree protection measures to be observed for the duration of the construction phase of the proposed development for the significant number of trees to be retained.

C. Amended Suggested Condition Nos.2 and 10:

- 2 The permission hereby granted shall be carried out in accordance with the following approved drawings and documents - GU11 2EU-A-01, GU11 2EU-A-02A, GU11 2EU-A-03A, GU11 2EU-A-04, GU11 2EU-A-05, GU11 2EU-A-05.1, GU11 2EU-A-05.3, & GU11 2EU-A-05.4; Design & Access Statement; Planning Statement; Transport Statement & Travel Plan; Arboricultural Report **and separate Appendix 7 : Arboricultural Implications Assessment Plan**; Site Drainage details/proposals (comprising Drawing Nos.GU112EU-CHG-ZO-00-DR-C-0001 REV.P1, GU112EU-CHG-ZO-00-DR-C-0002 REV.P1 & GU12 EU-CHG-XX-00-DR-C-0300 REV.P2, SiteCheck Flood Report Sheets, Storm Sewer Design Calcs & Thames Water Drainage Connection Conditional Consent); Sustainability Statement; Geoenvironmental Appraisal; Applicant's covering letter; and Response to Objections (received on 23/06/2021).

- 10 The 5 on-site parking spaces to be **provided** so as to be approached from the adjoining private access road as shown shaded pink on the amended Site Layout Plan GU11 2EU-A-03A received by the Local Planning Authority on 23 June 2021 shall be laid out as indicated and subsequently **provided** and kept made available in perpetuity at all times for general public parking use. Furthermore, the 15 in-line parking spaces located along the north side of the private access road within and adjacent to the boundary of the application site shared with Aldershot Telephone Exchange shall also be kept made available in perpetuity at all times for general public parking use.

Reasons for both conditions as set out in the Officer Report.

AGENDA ITEM No.3 : Section C : Item 5: Page 59:

Application No. 21/00231/FULPP

Proposal Erection of an apartment building and ten terraced houses comprising a total of 17 dwellings (3 x 1-bed, 4 x 2-bed and 10 x 3-bed) with associated landscaping and parking, with vehicular access from Morris Road, following demolition of all buildings on site

Address **209 - 211 Lynchford Road Farnborough**

Updates to the Officer Report:

A: Insert additional paragraph at end of Commentary Section 4, Living Environment Created (Page 69):

HCC Highways has raised no objection to the proposed refuse collection arrangements from Lynchford Road, described above. However, the project engineer for the prospective A3011 Lynchford Road Highway Improvements Scheme has more recently written to the Council's Contracts Management team regarding the measures that would be needed to allow for refuse collection from the proposed development. In this respect, since a refuse lorry could currently only partially pull off the road, HCC Highways are considering the provision of a refuse lorry lay-by given the longer time it is likely to take to collect refuse from the proposed development. This would be an acceptable solution, but this relates to highway land outside the application site and would be introduced as part of the wider highway improvements scheme for Lynchford Road that is being planned in a likely longer timescale than would be likely to relate to the implementation of the proposed development.

B: Amended Recommendation:

- (a) The completion of a satisfactory s106 Planning Agreement between the applicants and Rushmoor Borough Council by ~~31 August 2024~~ **30 September 2021** to secure the required SPA SAMM and Public Open Space financial contributions; and to ensure the development is subject to a late-stage economic viability review and to prevent ground rents being made in view of affordability;
- (b) Receipt of amended surface water drainage plans and details and Hampshire

County Council as Lead Local Flood Authority confirming that they have no objections to the proposals as amended in this respect;

(c) Any additional condition necessary as a result of representations from Hampshire County Council as Lead Local Flood Authority arising from assessment of the submitted amended surface water drainage plans;

(d) Receipt of habitat survey information and the Council's Ecology & Biodiversity Officer confirming that they have no objections to the proposals as amended in this respect; and

(e) Any additional condition necessary as a result of assessment by the Council's Ecology & Biodiversity Officer of habitat survey information.

C. Amended Condition No.10:

- 10 Prior to the occupation of any part of the development hereby approved, details of communal refuse and recycling bin storage to serve the whole development to facilitate collection of all refuse and recycling from Lynchford Road, together with the bin collection arrangements to be used, shall be submitted to and approved in writing by the Local Planning Authority. The development shall be carried out and retained in accordance with the details so approved.

Reason – as set out in the Report.

DEVELOPMENT MANAGEMENT COMMITTEE

Meeting held on Wednesday, 26th May, 2021 at the Princes Hall, Princes Way, Aldershot GU11 1NX at 7.00 pm.

Voting Members

Cllr C.J. Stewart (Chairman)
Cllr L. Jeffers (Vice-Chairman)

Cllr Mrs. D.B. Bedford
Cllr P.I.C. Crerar
Cllr J.H. Marsh
Cllr Nadia Martin
Cllr Sophie Porter
Cllr Michael Hope
Cllr S.J. Masterson
Cllr T.W. Mitchell

Apologies for absence were submitted on behalf of Cllr Marina Munro and Cllr Nem Thapa.

1. DECLARATIONS OF INTEREST

Having regard to the Members' Code of Conduct, the following declarations of interest were made. Members with a non-registerable interest left the meeting during the debates and voting on the relevant agenda items:

Member	Application and Address	No. Interest	Reason
Cllr S.J. Masterson	21/00187/FULPP Farnborough International Exhibition and Conference Centre, ETPS Road, Farnborough	Non- registerable	Public speaker is an acquaintance
Cllr Mrs D.B. Bedford	21/00187/FULPP Farnborough International Exhibition and Conference Centre, ETPS Road, Farnborough	Non- registerable	Public speaker is an acquaintance

Cllr Sophie Porter	21/00108/REMPP Zone K (Stanhope East) and Zone M (Buller), Wellesley, Aldershot Urban Extension, Alisons Road, Aldershot	Non-registerable interest – test under paragraphs 8 and 9 of the Code of Conduct met	Matter under consideration could affect her wellbeing due to the location of her property on Wellesley.
Cllr T.W. Mitchell	21/00187/FULPP Farnborough International Exhibition and Conference Centre, ETPS Road, Farnborough		No declaration of interest, however, has voiced opinions against this application in local press and on social media and therefore would be viewed as to have pre-determined. Withdrew from the meeting for the entirety of this item.
Cllr C.J. Stewart (Chairman)	21/00108/REMPP Zone K (Stanhope East) and Zone M (Buller), Wellesley, Aldershot Urban Extension, Alisons Road, Aldershot	Non-registrable	Owns a property on Wellesley and this matter may affect his well-being, however, does not impact involvement in decision-making.
Cllr C.J. Stewart (Chairman)	21/00187/FULPP Farnborough International Exhibition and Conference Centre, ETPS Road, Farnborough	Non-registerable	Public speaker is an acquaintance
Cllr C.J. Stewart (Chairman)	21/00187/FULPP (Farnborough International Exhibition and Conference Centre, ETPS Road, Farnborough)		Objection received from Head of Wavell School. Cllr Stewart is a governor at Wavell School, however, this objection was not lodged on behalf of the governing body and Cllr Stewart was

therefore not party to it.

Cllr C.J. Stewart 21/003555/ADV Non-
(Chairman) Aldershot Heritage registerable
Trail

Public speaker is an acquaintance, however he considered it would not affect his decision making on this item.

2. MINUTES

The Minutes of the meeting held on 21st April 2021 were approved and signed by the Chairman.

3. PETITION

RESOLVED: That the petition received in respect of the following application be noted, as set out in the Head of Economy, Planning and Strategic Housing's Report No. PLN2114 (as amended at the meeting):

Application No.	Address
21/00333/FULPP	Parsons Barracks Car Park, Ordnance Road, Aldershot

4. REPRESENTATION BY MEMBER OF THE COUNCIL

In accordance with the Council's Constitution, the Committee agreed that the following representation could be made to the Committee and was duly considered before a decision was reached:

Application No.	Address	Representation	In support of or against the application
21/00108/REMPP	Zone K (Stanhope East) and Zone M (Buller), Wellesley, Aldershot Urban Extension, Alisons Road, Aldershot	Cllr M.J. Roberts	Against

5. REPRESENTATIONS BY THE PUBLIC

In accordance with the guidelines for public participation at meetings, the following representations were made to the Committee and were duly considered before a decision was reached:

Application No.	Address	Representation	In support of or against the application
21/00187/FULPP	Farnborough International Exhibition and Conference Centre, ETPS Road, Farnborough	Dr M Selwood Mr G Rogers	Against In support
21/00355/ADV	Aldershot Heritage Trail	Mr P Vickers	In support

6. **PLANNING APPLICATIONS**

RESOLVED: That

(i) permission be given to the following applications, as set out in Appendix "A" attached hereto, subject to the conditions, restrictions and prohibitions (if any) mentioned therein:

- * 21/00108/REMPP Zone K (Stanhope Lines East) and Zone M (Buller), Wellesley, Aldershot Urban Extension, Alisons Road, Aldershot
- * 21/00187/FULPP Farnborough International Exhibition and Conference Centre, ETPS Road, Farnborough
- * 21/00355/ADV Heritage Trail Signage Marker (adjacent to Wellington Monument, Westgate, Manor Park, Princes Gardens, Railway Station, Military Museum, Napier Gardens, North Lane, Military Cemetery, Aldershot)

(ii) the following application be determined by the Head of Economy, Planning and Strategic Housing in consultation with the Chairman:

21/00235/FULPP No. 69 Victoria Road and 3A Arthur Street, Aldershot

(iii) the applications dealt with by the Head of Economy, Planning and Strategic Housing, where necessary in consultation with the Chairman, in accordance with the Council's Scheme of Delegation, more particularly specified in Section "D" of the Head of Economy, Planning and Strategic Housing's Report No. EPSH2114, be noted;

(iv) the current position with regard to the following applications be noted pending consideration at a future meeting:

- * 20/00400/FULPP Land at former Lafarge site, Hollybush Lane, Aldershot

- 21/00231/FULPP Nos. 209-211 Lynchford Road, Farnborough
- * 21/00333/FULPP Parsons Barracks Car Park, Ordnance Road, Aldershot

* The Head of Economy, Planning and Strategic Housing's Report No. EPSH2114 in respect of these applications was amended at the meeting

7. PLANNING APPLICATION 21/00235/FULPP - NO. 69 VICTORIA ROAD AND 3A ARTHUR STREET, ALDERSHOT

The Committee considered the Head of Economy, Planning and Strategic Housing's Report No. EPSH2114 regarding the construction of three one-bedroom flats and one one-bedroom maisonette with integral refuse and cycle storage on land adjacent to No. 69 Victoria Road with associated parking at No. 3A Arthur Street, Aldershot.

RESOLVED: That, subject to the completion of a suitable legal mechanism securing Open Space and Thames Basin Heaths Special Protection Area contributions, the Head of Economy, Planning and Strategic Housing, in consultation with the Chairman, be authorised to grant planning permission, subject to the conditions and informatives set out in Report No. EPSH2114,

8. APPEALS PROGRESS

Planning Application No.	Description	Decision
19/00759/FULPP	Against the refusal of planning permission for the erection of a five-storey building to comprise fourteen two-bedroom flats with associated parking at No. 1 Pickford Street, Enterprise House, Nos. 84-86 Victoria Road, Aldershot.	Dismissed
20/00502/FUL	Against the refusal of planning permission for the construction of a dormer window in the roof space above the existing garage at The Chestnuts, No. 34 Church Circle, Farnborough.	Allowed

RESOLVED: That the Head of Economy, Planning and Strategic Housing's Report No. EPSH2115 be noted.

9. ESSO PIPELINE PROJECT

The Head of Economy, Planning and Strategic Housing gave an update to the Committee on the current position with regard to the Development Consent Order which had been issued in respect of a major infrastructure project to renew and partially realign the Southampton to London fuel pipeline, which crossed the Borough of Rushmoor (Ref: 19/00432/PINS).

The Committee was advised that Esso would be publishing on its website on 27th May 2021 a timeline and various submissions in respect of the pipeline. It was

understood that there would be a revision to the site specific plan for Queen Elizabeth Park in Farnborough. It was also understood that there would be a minor change to the plans for the Southwood area in order to change the type of drilling to be undertaken. Members were urged to look at the Esso website and comment on the company's proposals for the Rushmoor area. All Members of the Council would be alerted to the publication by Esso of further details on its website.

The Head of Economy, Planning and Strategic Housing advised the Committee that the Council as landowner was close to concluding legal agreements with Esso. It was anticipated that most of the work on the pipeline in the Rushmoor area would start in Spring 2022.

RESOLVED: That the update be noted.

10. **APPOINTMENTS TO STANDING CONSULTATION GROUP**

RESOLVED: That the Chairman and Vice-Chairman, Cllr Sophie Porter and one representative from the Conservative Group (to be confirmed) be appointed to the Standing Consultation Group for the 2021/22 Municipal Year.

11. **APPOINTMENTS TO DEVELOPMENT MONITORING GROUPS**

(1) **Farnborough Town Centre -**

RESOLVED: That the Vice-Chairman and the three Empress Ward Councillors be appointed to the Farnborough Town Centre Development Monitoring Group for the 2021/22 Municipal Year.

(2) **North Town, Aldershot -**

RESOLVED: That the Chairman and the three North Town Ward Councillors be appointed to the North Town Development Monitoring Group for the 2021/22 Municipal Year.

(3) **Wellesley – Aldershot Urban Extension -**

RESOLVED: That the Chairman and the three Wellington Ward Councillors be appointed to the Wellesley Development Monitoring Group for the 2021/22 Municipal Year.

The meeting closed at 8.45 pm.

CLLR C.J. STEWART (CHAIRMAN)

Development Management Committee

Appendix "A"

Application No. & Date Valid: 21/00108/REMPP

12th February 2021

Proposal: Part Approval of Reserved Matters for the construction of 430 residential dwellings together with associated landscape, access and parking in Part of Development Zone K (Stanhope Lines East) and Part of Development Zone M (Buller) pursuant to Condition 4 (1 to 21), attached to Hybrid Outline Planning Permission 12/00958/OUT dated 10th March 2014 at **Zone K - Stanhope Lines East And Zone M Buller Wellesley Aldershot Urban Extension Alisons Road**

Applicant: Mr Robin Pearmain

Conditions: 1 The development hereby permitted shall be begun before the expiration of three years from the date of this permission.

Reason - As required by Section 91 of the Town and Country Planning Act 1990 as amended by Section 51 of the Planning and Compulsory Purchase Act 2004.

2 The permission hereby granted shall be carried out in accordance with the following approved drawings and documents:

Drawings: 19165/S101; 19165/S102; 19165/P101 B;
19165/C101 A; 19165/C102 A; 19165/C103 A;
19165/C104 A; 19165/C105 A; 19165/C106 A;
19165/C107 A; 19165/C108 B; 19165/P105 A;
19165/P106 A; 19165/P107 A; 19165/P110;
19165/P111; 19165/P112; 19165/P113; 19165/P114;
19165/P115; 19165/P116; 19165/P117; 19165/P118;
19165/P119; 19165/P120; 19165/P121; 19165/P122;
19165/P123; 19165/P124; 19165/P125; 19165/P126;
19165/P134 B; 19165/P135 B; 19165/P136 B;
19165/P138 B; 19165/P139 B; 19165/P140 B;
19165/P141;
19165/P142 B; 19165/P143 B; 19165/P144 B;
19165/P130 B; 19165/P131 B; 19165/P132 B;
19165/P133 B; 19165/P137 B; 19165/P145A;
19165/P146A; 19165/P150; 19165/P151; 19165/P152;
19165/P153; 19165/P154; 19165/P155; 19165/P156;
19165/P157; 19165/P158; 19165/P159; 19165/P160;

19165/P161; 19165/P162; 19165/P163; 19165/P164;
19165/P165; 19165/P166; 19165/P167; 19165/P168;
19165/P169; 19165/P170; 19165/P171; 19165/P172;
19165/P173; 19165/P174; 19165/P175; 19165/P176;
19165/P177; 19165/P178; 19165/P179; 19165/P181;
19165/P182; 19165/P183; 19165/P184; 19165/P190 A;
2940-LA-00 P2; 2940-LA-01 P2; 2940-LA-02 P2; 2940-
LA-03 P2; 2940-LA-04 P2; 2940-LA-05 P2; 2940-LA-06
P2; 2940-LA-07 P2;
2940-LA-08 P2; 2940-LA-09 P2; 2940-LA-10 P2; 2940-
LA-11 P2;
2940-LA-12 P2; 2940-LA-13 P2; 2940-LA-16 P4; 20-
284-001 B;
20-284-002 B; 20-284-003 B; 20-284-004 B; 20-284-005
B; 20-284-006 B;
20-284-007 B; 20-284-008 B; 20-284-009 B; 20-284-010
B; 20-284-011 B;
20-284-012 B; 20-284-013 B; 20-284-014 B; 20-284-015
B; 20-284-016 B;
20-284-020 B; and 20-284-021 B.

Documents: Planning Statement (Savills, February 2021); Statement of Community Involvement (Savills, February 2021); Design & Access Statement (OSP, February 2021); Arboricultural Method Statement (James Fuller, February 2021); Noise Assessment ref: 784-B024516 (Tetra Tech, January 2021); Lighting Assessment ref: B024516 (Tetra Tech, February 2021); Ecological Impact Assessment (Lindsay Carrington Ecological Services Ltd, February 2021); Written Scheme of Investigation for Archaeological Evaluation ref: 213421.2 (Wessex Archaeology, February 2021); Combined Phase I Desk Study and Phase II Site Investigation ref LP2388 Issue 3 Report (Leap Environmental, 10th February 2021); Drainage Strategy and Maintenance Management Plan ref: 20-284 (Odyssey, March 2021); Landscape Management Plan (Allen Pyke Associates, February 2021); Energy Statement (Abbey Consultants, February 2021); Construction Traffic Management Plan ref 20-284 (Odyssey, February 2021); Construction and Environmental Management Plan (Odyssey, February 2021); Affordable Housing Development Zone Strategy and Reserved Matters Statement (Savills, February 2021); and Site Wide Affordable Housing Strategy, Revision 7 DRAFT (Grainger, February 2021).

Reason - To ensure the development is implemented in accordance with the permission granted.

- 3 Notwithstanding the Affordable Housing Strategy documents submitted with the application, prior to commencement of the development, an updated Affordable Housing Strategy (AHS) Revision 7 shall be submitted to and approved in writing by the Local Planning Authority. The development shall be carried out in accordance with the AHS as approved.*

Reason: To accord with the provisions of the Hybrid Outline Planning Permission and associated s106 planning obligations in relation to the delivery of affordable housing.

- 4 A schedule of the materials and fenestration (including samples where required by the Local Planning Authority) to be used for the external surfaces of the dwellings hereby approved shall be submitted to and approved in writing by the Local Planning Authority, before the relevant part of the development to which they relate is commenced (excluding preparatory ground works), and this condition shall apply notwithstanding any indications to these matters which have been given in this application. The development shall be carried out in accordance with the approved details prior to first occupation of the relevant part of the development.*

Reason - To ensure satisfactory quality and external appearance for the development and to safeguard the character and appearance of the Conservation Area and the setting of adjoining heritage assets

- 5 Typical detailed working drawings of brick detailing and projecting bonds for each house type/apartment building (as agreed with the Local Planning Authority) hereby approved shall be submitted to and approved in writing by the Local Planning Authority, before the relevant part of the development to which they relate is commenced (excluding below ground works), and this condition shall apply notwithstanding any indications to these matters which have been given in this application. The development shall be carried out in accordance with the approved details prior to first occupation of the relevant part of the development.*

Reason - To ensure satisfactory quality and external appearance for the development and to safeguard the character and appearance of the Conservation Area and the setting of adjoining heritage assets.

- 6 Prior to commencement of the development, a Construction Surface Water Management Plan, including measures to prevent safeguard the Basingstoke Canal SSSI against pollution and run/off sedimentation, shall be submitted and Approved in writing by the Local Planning Authority in accordance with the recommendations contained within Construction and Environmental Management Plan (Odyssey, February 2021) hereby approved. The development shall be carried out in accordance with the Construction Surface Water Management Plan as approved.*

Reason - To safeguard ecologically sensitive local receptors, during the construction phases of the development.*

- 7 Details of the design and location of all boundary treatment (including planted) proposed within the development hereby approved shall be submitted to and approved in writing by the Local Planning Authority. This condition shall apply notwithstanding any indications to these matters which have been given in this application. The development shall be carried out in accordance with the approved details prior to first occupation of the relevant part of the development.*

Reason - To ensure satisfactory external appearance for the development, to safeguard residential amenity and in the interests of highway safety.

- 8 Details of refuse and recycling strategy, specifications of bin collection points and associated signage shall be submitted to and approved in writing by the Local Planning Authority. This condition shall apply notwithstanding any indications to these matters which have been given in this application. The development shall be carried out in accordance with the approved details prior to first occupation of the dwellings to which the provision relates and retained thereafter for the life of the development. The collection points shall not be used for any other purpose than the storage of refuse and recycling bins.*

Reason - To safeguard the amenities and character of the area and to meet the functional needs of the development.

- 9 Prior to the installation of any external lighting associated with the development hereby approved, a

scheme for the provision of external lighting together with an Artificial Lighting Assessment (including the design, duration, intensity of illumination and predicted lighting contours), to accord with the recommendations outlined in section 6.0 of the Ecological Impact Assessment (Lindsay Carrington, February 2021) hereby approved, shall be submitted to and approved in writing by the Local Planning Authority. Any external lighting that is installed shall accord with the details so approved.

Reason: To safeguard the amenities of surrounding occupiers and to avoid any adverse impacts on ecologically sensitive local receptors.*

- 10 The development shall be carried out strictly in accordance with the Arboricultural Method Statement (James Fuller, February 2021) hereby approved. Prior to first occupation of the development (or relevant phase of the development), a completion report shall be submitted to and agreed in writing by the local planning authority, to demonstrate satisfactory compliance with the tree protection measures outlined in the Arboricultural Method Statement as approved.*

Reason - To safeguard retained trees on the site, to safeguard the character and appearance of the area and biodiversity.

- 11 The development shall be carried out strictly in accordance with the mitigation described within the Noise Assessment ref: 784-B024561 (Tetra Tech, 9th January 2021) hereby approved, which includes enhanced specification for glazing fronting Alisons Road. The mitigation shall be implemented prior to first occupation of the development to which it relates and thereafter retained for the life of the development*

Reason - To safeguard future occupiers of the development against noise disturbance

- 12 The residents' and visitors' parking spaces and garages (including wheelchair users spaces) shall be laid out and allocated in accordance with drawing 19165/C106 A hereby approved prior to first occupation of the part of the development to which they relate, and shall be used only for the parking of vehicles ancillary and incidental to the residential use of the development.*

Reason - To ensure the provision and availability of adequate off-street parking and to safeguard residential amenity.

- 13 The cycle parking stores shown on the approved plans shall be provided prior to the first occupation of any part of the development to which they relate and kept available at all times thereafter for the parking of bicycles. *

Reason - To ensure that a sufficient level of cycle parking is available for the development to meet its operational needs and in the interests of highway safety.

- 14 The development shall be carried out strictly in accordance with the Construction and Environmental Management Plan (Odyssey, February 2021) hereby approved.

Reason - To safeguard the amenities of surrounding occupiers and to avoid any adverse impacts on ecologically sensitive local receptors, during the construction phases of the development.*

- 15 The development shall be carried out strictly in accordance with the Construction Traffic Management Plan ref 20-284 (Odyssey, February 2021) hereby approved.

Reason - To prevent any adverse impact on highway safety traffic and parking conditions in the vicinity of the site.

- 16 Construction or demolition work of any sort within the area covered by the application shall only take place between the hours of 0800-1800 on Monday to Fridays and 0800-1300 on Saturdays. No work at all shall take place on Sundays and Bank or Statutory Holidays.

Reason - To protect the amenities of neighbouring residential properties and to prevent adverse impact on traffic and parking conditions in the vicinity.

- 17 Notwithstanding the details submitted with the application, no part of the residential accommodation hereby approved shall be occupied until details of an appropriate level of biodiversity enhancement to demonstrate bio-diversity net gain, have been submitted to and approved in writing by the Local Planning Authority. Such details shall include the proposed

hedgehog highway and planting, tree planting and other measures to create areas of additional nesting and foraging habitat for nesting birds and commuting bats. The details shall be submitted together with a schedule for implementation and a management plan. The details and measures shall be implemented as approved in accordance with the agreed timescales and retained thereafter for the life of the development.

Reason: To protect and enhance biodiversity.*

- 18 Prior to the commencement of the development hereby approved, a detailed hard and soft landscaping and planting scheme, including replacement semi-mature tree planting and measures for biodiversity enhancement, shall be submitted to and approved in writing by the Local Planning Authority. The scheme so approved shall be implemented in full prior to the first occupation of the relevant part of the development, or the first available planting season whichever is the sooner. Any tree/shrub removed, dying or becoming seriously diseased within five years of planting shall be replaced by trees/shrubs of similar size and species to those originally approved.

Reason: In the interests of the character and appearance of the area and biodiversity net gain.*

- 19 Notwithstanding the provisions of Class D, Part 1 of Schedule 2 of the Town and Country Planning (General Permitted Development) (England), Order 2015 (or any Order revoking and re-enacting that Order), no erection or construction of a porch outside any external door on the principal elevation of a dwellinghouse shall be carried out without the prior permission of the Local Planning Authority.

Reason - To safeguard the character and appearance of the development

- 20 Notwithstanding the provisions of Class B, Part 1 of Schedule 2 of the Town and Country Planning (General Permitted Development) (England), Order 2015 (or any Order revoking and re-enacting that Order), no enlargement of the dwellings hereby approved consisting of an addition or alteration to the roof shall be carried out without the prior permission of the Local Planning Authority.

Reason - To safeguard the character and appearance of the development and to protect the amenities of neighbouring occupiers.

- 21 The development shall be carried out strictly in accordance with the Combined Phase I Desk Study and Phase II Site investigation Report (Leap Environmental February 2021) hereby approved to provide gas protection to all plots unless further testing which confirms this is not necessary is submitted to and agreed in writing by the local planning authority.

Reason - To safeguard future occupiers of the development

- 22 The development hereby approved shall be carried out strictly in accordance with the methodology and recommendations contained within the Written Scheme of Investigation for Archaeological Evaluation ref: 213421.2 (Wessex Archaeology, February 2021)

Reason - To secure the protection of archaeological assets if they are discovered.

Application No. & Date Valid: 21/00187/FULPP

13th March 2021

Proposal: Temporary permission until August 2024 for the erection of two sound stages, erection of workshops, and to change the use of existing hospitality chalets to ancillary offices for the purposes of film making until August 2024, together with ancillary works including installation of a permanent substation. at **Farnborough International Exhibition And Conference Centre ETPS Road Farnborough Hampshire**

Applicant: Farnborough International Limited

Conditions: 1 The Sound Stages (1 and 2), and Workshop buildings hereby permitted shall be removed and the land restored to its former condition on or before the 31st August 2024. The use of the Catering Chalets an ancillary offices for the development hereby approved shall cease on or before the 31st August 2024.

Reason - Given the impact of the character and appearance of the structure, reconsideration in the light of prevailing circumstances at the end of the specified period would be appropriate in the interest of amenity.

2 The permission hereby granted shall be carried out in accordance with the following approved drawings Drawing numbers:

158903/TOR1 - Location Plan

S50/ 001 - Stage 1 floor plan

S50/002 - Stage 2 floor plan

S50/ 004 - Stage 1 Elevations

S50/ 005 - Stage 2 Elevations

S50/010 - Offices layout

S50/011 - Offices layout

S50/ 003 - Workshop floor plan

S50/006 - workshop elevations

S50/ 013 - site plan

S50/ 008 - site plan (showing gates)

Reason - To ensure the development is implemented in accordance with the permission granted

3 No sound reproduction equipment, conveying

messages, music, or other sound which is audible outside the application site shall be installed on the site.

Reason - To protect the amenity of neighbouring property

- 4 Noise (LAeq) from within the proposed sound stages should be controlled to ensure noise levels at 1m from the façade of the nearest noise sensitive receptor are 10dB below the background noise level (LA90) without the sound stage noise present, in each octave band.

Reason - To protect the amenity of the adjacent occupiers.

- 5 All plant and machinery shall be enclosed with soundproofing materials and mounted in a way which will minimise transmission of structure-borne sound.

Reason - To protect the amenity of neighbouring occupiers.

- 6 The rating noise level of any external plant and machinery on the application site, as assessed under BS4142: 2014 'Methods for rating and assessing industrial and commercial sound', shall be lower than the background sound level as measured or calculated at 3.5 m from the nearest ground floor sensitive facade and 1m from upper floor noise sensitive facades, during the relevant periods of operation.

Reason: In the interest of residential amenity

- 7 Loading and unloading from / of vehicles shall only be carried out on the side of the buildings remote from sensitive premises.

Reason - To ensure the provision and availability of adequate off-street parking.

- 8 The development hereby approved shall be carried out in accordance with the Operational Management Plan 'Stage 50 - Farnborough International Site Operational Management Plan' and Highways Management Plan 'Vectos Farnborough International Limited. Temporary Film making Facilities and Associated Works Transport Management Plan 215824' This shall include public liaison meetings to address operational issues and amendments arising from subsequent review (See condition 9).

Reason - In the interest of residential amenity.

- 9 Within 1 month of the occupation of the development for the purposes of filming, a review of the effectiveness of the Operational Management and Transport Management Plans shall be carried out by the applicants and submitted to the LPA to include recommendations for any amendments arising from operational conditions and a schedule for implementation of measures arising from this. Subsequent monitoring and review reports shall be submitted annually from the date of this permission for the duration of the temporary period.

Reason - In the interest of residential amenity.

- 10 For the duration of the temporary development hereby approved, solid screen fencing of the boundaries with neighbouring residential property of a minimum height of 2m will be retained/maintained/replaced by the developer.

Reason: In the interest of residential amenity.

**Application No.
& Date Valid**

21/00355/ADV

30th April 2021

Proposal:

Installation of nine totems relating to The Heritage Trail at **Adj. Wellington Monument, Westgate, Manor Park, Princes Gardens, Railway Station, Military Museum, Napier Gardens, North Lane, Military Cemetery Aldershot Hampshire**

Applicant:

Mr Paul Vickers

Conditions

- 1 No advertisement is to be displayed without the permission of the owner of the site or any other person with an interest in the site entitled to grant permission.
- 2 No advertisement shall be sited or displayed so as to—
 - (a) endanger persons using any highway, railway, waterway, dock, harbour or aerodrome (civil or military);
 - (b) obscure, or hinder the ready interpretation of, any traffic sign, railway signal or aid to navigation by water or air; or
 - (c) hinder the operation of any device used for the purpose of security or surveillance or for measuring the speed of any vehicle.
- 3 Any advertisement displayed, and any site used for the display of advertisements, shall be maintained in a condition that does not impair the visual amenity of the site.

4. Any structure or hoarding erected or used principally for the purpose of displaying advertisements shall be maintained in a condition that does not endanger the public.
5. Where an advertisement is required under these Regulations to be removed, the site shall be left in a condition that does not endanger the public or impair visual amenity
6. The signage hereby permitted shall be installed in accordance with the following approved drawings – OS Aldershot Railway Stn, OS Manor Park, OS Military Cemetery, OS Military Museum Queens Ave, OS Napier Gardens, OS North Lane, OS Princes Gardens, OS Wellington Monument, OS West Gate, and signage plan 15120-A.

Reason - To ensure the signage is displayed in accordance with the permission granted

Development Management
Committee 21st July 2021

Head of Economy, Planning
and Strategic Housing
Report No.EPSH2119

Planning Applications

1. Introduction

- 1.1 This report considers recent planning applications submitted to the Council, as the Local Planning Authority, for determination.

2. Sections In The Report

- 2.1 The report is divided into a number of sections:

Section A – FUTURE Items for Committee

Applications that have either been submitted some time ago but are still not ready for consideration or are recently received applications that have been received too early to be considered by Committee. The background papers for all the applications are the application details contained in the Part 1 Planning Register.

Section B – For the NOTING of any Petitions

Section C – Items for DETERMINATION

These applications are on the Agenda for a decision to be made. Each item contains a full description of the proposed development, details of the consultations undertaken and a summary of the responses received, an assessment of the proposal against current policy, a commentary and concludes with a recommendation. A short presentation with slides will be made to Committee.

Section D – Applications ALREADY DETERMINED under the Council's adopted scheme of Delegation

This lists planning applications that have already been determined by the Head of Economy, Planning and Strategic Housing, and where necessary with the Chairman, under the Scheme of Delegation that was approved by the Development Management Committee on 17 November 2004. These applications are not for decision and are FOR INFORMATION only.

- 2.2 All information, advice and recommendations contained in this report are understood to be correct at the time of publication. Any change in circumstances will be verbally updated at the Committee meeting. Where a recommendation is either altered or substantially amended between preparing the report and the Committee meeting, a separate sheet will be circulated at the meeting to assist Members in following the modifications proposed. This sheet will be available to members of the public.

3. Planning Policy

- 3.1 Section 38(6) of the Town and Country Planning Act 1990 (as amended) requires regard to be had to the provisions of the development plan in the determination of planning applications. The development plan for Rushmoor comprises the Rushmoor Local Plan (February 2019), the Hampshire Minerals and Waste Plan (October 2013) and saved Policy NRM6 of the South East Plan.
- 3.2 Although not necessarily specifically referred to in the Committee report, the relevant development plan will have been used as a background document and the relevant policies taken into account in the preparation of the report on each item. Where a development does not accord with the development plan and it is proposed to recommend that planning permission be granted, the application will be advertised as a departure and this will be highlighted in the Committee report.

4. Human Rights

- 4.1 The Human Rights Act 1998 (the Act) has incorporated part of the European Convention on Human Rights into English law. All planning applications are assessed to make sure that the subsequent determination of the development proposal is compatible with the Act. If there is a potential conflict, this will be highlighted in the report on the relevant item.

5. Public Speaking

- 5.1 The Committee has agreed a scheme for the public to speak on cases due to be determined at the meeting (Planning Services report PLN0327 refers). Members of the public wishing to speak must have contacted the Meeting Co-ordinator in Democratic Services by 5pm on the Tuesday immediately preceding the Committee meeting. It is **not** possible to arrange to speak to the Committee at the Committee meeting itself.

6. Late Representations

- 6.1 The Council has adopted the following procedures with respect to the receipt of late representations on planning applications (Planning report PLN 0113 refers):
- a) All properly made representations received **before** the expiry of the final closing date for comment will be summarised in the Committee report. Where such representations are received after the agenda has been published, the receipt of such representations will be reported orally and the contents summarised on the amendment sheet that is circulated at the Committee meeting. Where the final closing date for comment falls **after** the date of the Committee meeting, this will be highlighted in the report and the recommendation caveated accordingly.

- b) Representations from both applicants and others made **after** the expiry of the final closing date for comment and received **after** the report has been published will not be accepted unless they raise a new material consideration which has not been taken into account in the preparation of the report or draws attention to an error in the report.
- c) Representations that are sent to Members should not be accepted or allowed to influence Members in the determination of any planning application unless those representations have first been submitted to the Council in the proper manner (but see (b) above).
- d) Copies of individual representations will not be circulated to members but where the requisite number of copies are provided, copies of individual representation will be placed in Members' pigeonholes.
- e) All letters of representation will be made readily available in the Committee room an hour before the Committee meeting.

7. Financial Implications

- 7.1 There are no direct financial implications arising from this report. However, in the event of an appeal, further resources will be put towards defending the Council's decision. Rarely, and in certain circumstances, decisions on planning applications may result in the Council facing an application for costs arising from a planning appeal. Officers will aim to alert Members where this may be likely and provide appropriate advice in such circumstances.

Tim Mills
Head of Economy, Planning and Strategic Housing

Background Papers

- *The individual planning application file (reference no. quoted in each case) Rushmoor Local Plan (Adopted Feb 2019)*
- *Current government advice and guidance contained in circulars, ministerial statements and the National Planning Practice Guidance (NPPG).*
- *Any other document specifically referred to in the report.*
- *Regional Spatial Strategy for the South East, policy NRM6: Thames Basin Heaths Special Protection Area.*
- *The National Planning Policy Framework.*
- *Hampshire Minerals and Waste Plan (2013).*

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Section AFuture items for Committee

Section A items are for INFORMATION purposes only. It comprises applications that have either been submitted some time ago but are still not yet ready for consideration or are recently received applications that are not ready to be considered by the Committee. The background papers for all the applications are the application details contained in the Part1 Planning Register.

Item	Reference	Description and address
1	20/00400/FULPP	<p>Development of site to create a leisure facility comprising aquatic sports centre including cafe, gym, equestrian centre accommodation and ancillary facilities; equestrian centre and associated stabling; 21 floating holiday lodges with associated car parking, landscaping and bund (revised proposals submitted 2 February 2021)</p> <p>Land at Former Lafarge Site Hollybush Lane Aldershot</p> <p>Further discussion of submissions and consultation responses is in progress. It is therefore too early to bring this application to Committee. Site Visit to be arranged.</p>
2	21/00074/FULPP	<p>Construction of new Home Shopping storage areas and associated coldrooms, construction of new click & collect canopy and associated steelworks and associated works</p> <p>ASDA, Westmead Farnborough</p> <p>Discussion of revised submissions is in progress. It is therefore too early to bring this application to Committee.</p>
3	21/00271/FULPP	<p>Erection of an extension to Kingsmead Shopping Centre; commercial, business and service uses on the ground floor (3,088sqm), 104 apartments over nine floors, private amenity space, 53 car parking spaces, up to 222 bicycle parking spaces, a bridge link and alterations to existing block 2 car park and the meads, a new entrance to The Meads shopping centre.</p>

		<p>Block 3, Queensmead, Farnborough</p> <p>This application has recently been received and consideration of responses to consultation is in progress. It is therefore too early to bring this application to Committee.</p>
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Section B

Petitions

Item	Reference	Description and address
		There are no petitions to report

The information, recommendations and advice contained in this report are correct as at the date of preparation, which is more than two weeks in advance of the Committee meeting. Because of these time constraints some reports may have been prepared in advance of the final date given for consultee responses or neighbour comment. Any changes or necessary updates to the report will be made orally at the Committee meeting.

Case Officer	David Stevens
Application No.	21/00333/FULPP
Date Valid	28th April 2021
Expiry date of consultations	19th May 2021
Proposal	Erection of 3 storey, 66-bed care home for general residential and dementia elderly people, with associated car parking, access and landscaping
Address	Parsons Barracks Car Park Ordnance Road Aldershot
Ward	Wellington
Applicant	LNT Care Developments
Agent	-
Recommendation	Permission be GRANTED .

Description

Parsons Barracks Car Park is a Council-owned pay-and-display public long-stay public car park of 167 spaces located on raised ground adjoining the Ordnance Roundabout junction of High Street (A323) with Ordnance Road and Windsor Way. Approximately half of the car park is temporarily being used as a Covid Testing Station, with the other half remaining available for public car parking.

The application site is roughly rectangular in shape; measures 0.54 hectares; and incorporates all of the car park, plus the landscaped and treed bank fronting the road frontages, and most of the adjoining private access road from Ordnance Road that is the vehicular access to the car park. The access road continues south-east beyond the car park to also serve as vehicular access to the rear of the Buddhist Community Centre and Temple at No.8 High Street; and beyond that to Aldershot Town Football Club at the EBB Stadium. To the north-east, on the other side of the access road is the Aldershot Telephone Exchange building and site. A car dealership (Charters Citroen), the Crimea Public House, and residential flats at Bradbury Court are situated on the opposite side of High Street to the south-west. North-west, on the other side of Ordnance Road is grassed open space with military housing at Cassino Close beyond.

The proposal the subject of the application has been submitted by the prospective

purchasers of the site and is for the re-development of the car park site to provide a 66-bed Care Home (Use Class C2). In this respect the proposed re-development would retain the existing landscaped and treed bank on the road frontages of the site, the private access road and the existing entrance and exits to the car park intact. The proposed Care Home building would occupy approximately two-thirds of the car park land as far as the second existing entry/exit point with the access road; with the remaining third of the car park land to the south-east adjoining the Buddhist Community Centre being retained to provide a 29-space staff and visitors car park for the Care Home. The existing ramp and steps providing pedestrian access to/from the car park and High Street and a line of 15 parking spaces lining the north side of the access road adjacent to the boundary shared with the Telephone Exchange site would also be retained.

As a result of an amended Site Layout Plan received on 23 June 2021, the proposed development would also provide and make available five parking spaces directly adjoining the access road to provide a drop-off/pick-up facility for visitors to the adjacent Buddhist Community Centre & Temple.

The proposed Care Home would be three-storeys in height beneath a fully-hipped shallow-pitched roof and have a footprint with a narrow cranked rectangular shape comprising two building wings, one attached to each side of a central building core. Overall, the proposed building would generally measure 14 metres wide by a total of 80 metres long. The main entrance would face the car park access road and be provided with a separate 'In' and 'Out' one-way service road with a lay-by for dropping-off and servicing collections/deliveries. Landscaped garden areas, terraces and amenity planting would be provided on those areas of the site immediately surrounding the proposed Care Home building. These areas would, where required, be enclosed with black powder-coated metal bow-top railings.

Externally, the proposed Care Home would have a conventional modern design and be finished in buff bricks; together with white-painted render elements, some darker finished inset window elements and contrasting brick plinth and string-course window header details, all to provide interest and articulation to the elevations. Grey powder-coated metal window frames and uPVC doors would be provided. The roof is indicated to be finished with a smooth grey concrete tile. The proposed building would generally be a maximum of 12 metres in height with a roof eaves height of 9 metres; with the central building entrance core being a little taller.

Internally the proposed Care Home would have a simple layout, with corridors running down each building wing from the central 'core' area of the building, which would contain lifts, the main stairwell, reception area, office and the main residents' lounges and dining areas. The far ends of each wing corridor would have a secondary access/escape stairwell. The north-west wing would have a smaller residents' lounge area on the end of each floor. Approximately half of the ground-floor south-east wing would be used to provide kitchen and laundry facilities, together with a staff room, staff changing, store-rooms and a plant room. A hair salon would be provided on the first-floor. A Cinema Room is also shown to be provided on the second floor. All of the residents' rooms are identical, all being of single bedroom size with en-suite facilities and of a total of approximately 22 sqm each. The proposed Care Home is designed for residents with varying degrees of immobility and a need for regular daily care to meet their needs. It is not a Care Home designed for occupation by residents on any form of independent living basis. As such, there are no parking spaces or provision made for mobility scooters for the use of residents within the proposed development. There is also no provision for any staff to be resident in the proposed Care Home.

The application is accompanied by a Design & Access Statement; Planning Statement; Transport Statement & Travel Plan; Arboricultural Report; Sustainability Statement; a Geo-environmental & Site Investigation Report; and a Provisional Feasibility Drainage Layout and drainage calculations. Seeking to address objections received, the applicants submitted a revised Site Layout Plan and a response to the objections on 23 June 2021. This further submission also refers to information provided in the Aldershot Parking Study Report 2019, a document commissioned by the Council from external consultants : a copy of which was also submitted by the applicants.

Consultee Responses

Lead Local Flood Authorities	No objections subject to condition following consideration of additional drainage information by the applicants.
Environment Agency	No objections and provides Standing Advice.
HCC Highways Development Planning	No highway objections subject to a planning condition being imposed to require the submission of a Construction Management Plan.
Hampshire Fire & Rescue Service	No objections and provides generic fire safety comments and advice.
Environmental Health	No objections subject to conditions.
Natural England	No objections subject to either: (a) conditions to restrict the nature of the occupancy of the proposed Care Home; or (b) an appropriate SPA financial contribution being secured with a s106 Planning Obligation; to avoid SPA impact.
Neighbourhood Policing Team	No comments received during the consultation period, thereby presumed to have no objections.
Arboricultural Officer	No objections subject to conditions.
Hampshire & I.O.W. Wildlife Trust	No comments received during the consultation period, thereby presumed to have no objections.
Thames Water	No objections.

Neighbours notified

In addition to posting a site notice and press advertisement, 39 individual letters of notification were sent to High Street, Ordnance Road, Windsor Way, Crimea Road, Exchange Close and Cassino Close, including all properties located adjoining or opposite the application site.

Neighbour comments

At the time of writing a total of 180 individual representations have been received electronically via the Council's website 'public access' system.

The vast majority of these specifically object to the impact of the proposals upon the **Buddhist Temple and Community Centre at 8 High Street Aldershot** located directly adjacent to the application site. Of these Council website-enabled objections, some 26% are from the occupiers of properties located throughout Aldershot; 15% are from Farnborough properties; and the remainder, and clear majority (59%), are from addresses located outside of Rushmoor, most numerous being properties in Camberley, Reading, Bracknell, Basingstoke, Blackwater; but also from addresses in various London Boroughs, Kent and further afield.

A petition has also been received comprising 222 individually addressed and signed copies of the same letter, all from people identifying as members of the Buddhist Community Centre UK (BCCUK) whom regularly attend the Buddhist Temple and Community Centre at 8 High Street Aldershot. Unlike the electronic representations, the clear large majority of contributors to the petition (some 79%) are occupiers of addresses throughout Aldershot; with 7% Farnborough addresses; and 14% addresses from beyond Rushmoor.

Both of these sources of objection have been encouraged and/or enabled by the Buddhist Community Centre UK (BCCUK). This is a charitable organisation founded in 2007 with the vision of establishing a monastery to serve the Buddhist community in the south-east region of the UK. Members will be aware that this facility was realised in 2013 with the creation of the Buddhist Community Centre and Temple at 8 High Street, which is located adjacent to the current application site.

Separate letters of objection has also been submitted by the Chairman of BCCUK; and a planning consultant (Neil David Planning) engaged by BCCUK has also submitted a separate letter of objection on their behalf.

Overall, **Objection** is raised to the proposals by or on behalf of BCCUK members and visitors to the Buddhist Community Centre and Temple on the following summary grounds:-

- (a) The proposed re-development would mean that the Parsons Barracks public car park would permanently no longer exist to be available for the use of members and others attending the adjacent Community Centre and Temple and, as such, be highly detrimental to this established adjacent community use. Indeed, for this reason, the proposed development would have a devastating impact on the future viability of the Buddhist Community Centre and Temple.
- (b) One of the major factors in the current Temple site being chosen by BCCUK was the ready availability of public car parking in the adjacent car park.
- (c) The 8 High Street site provides a spiritual home for members of the Buddhist community and members of the general public with an interest in Buddhism and serves a wide catchment beyond Rushmoor. It provides a facility for Buddhist ceremonies and teachings, meditation, community service, retreats and projects that preserve the Buddhist tradition. The site hosts various regular ritual ceremonies, including weddings, naming ceremonies and funerals. Some 30-40 ritual events are held each week. The Community Centre is also regularly used by schools, Scouts, Beavers and other community groups. Including visits and meditation programmes, some 600 people attend the Temple each week.

- (d) Most people attending the Temple arrive by car – some 40 or more cars connected with the Community Centre and Temple use the adjacent car park daily; and this would increase significantly when Covid restrictions are lifted. When religious festivals, celebrations and funeral events take place the number of attendees increases dramatically. Some overnight parking can occur on occasions.
- (e) There are no suitable nearby alternative parking facilities available without compromising the safety and convenience of devotees and/or causing nuisance to people in the area. As such, the daily parking needs, and thereby day-to-day operation of the Community Centre and religious function of the Temple would be significantly adversely compromised by the proposals.
- (f) The car park is also heavily used by supporters of Aldershot Town FC when there are home fixtures.
- (g) There are serious concerns arising from the proposed development about the accessibility of the Community Centre and Temple, especially by people with disabilities, with mobility issues etc. Gaining access by parking in the adjacent car park enables relatively level access and safe dropping-off and picking-up, but this would no longer be possible if the proposed re-development were to be approved. The alternative, should the proposals proceed, would be for people to be dropped-off and picked-up by vehicles (coaches, mini-buses, taxis and cars) temporarily parking on the main road (A323 High Street) instead, giving rise to serious highway safety and convenience issues.
- (h) The BCCUK Community Centre and Temple play an important part in the life of both the Buddhist and Gurkha communities in Rushmoor, the surrounding area and also nationally.
- (i) There is concern that the proposed re-development of the car park with a Care Home is inappropriate due to the potential for noise and disturbance to Care Home occupants arising from daily activities at the Community Centre and Temple.
- (j) The car park should be left as it is and another site found for the proposed Care Home – accepting that it is also a much-needed facility in the area;
- (k) The proposed development would have an adverse visual impact (because the proposed building is of an inappropriate size, height and design) and thereby harm the setting of a religious site.
- (l) BCCUK Members are gravely concerned about the manner in which the Parsons Barracks car park has been prepared for sale to the current applicants for re-development without any discussions with BCCUK concerning the impact and implications for the daily operation of the Community Centre and Temple being held beforehand. This is considered to be a major oversight on the part of the Council and, indeed, also of the applicants in putting forward their proposed development. The proposals are an insult to the Buddhist community and its cultural heritage. BCCUK would have liked to have had the opportunity to seek to acquire the car park, or a sizeable portion of it, from the Council, yet were not approached by the Council in this respect. It is suggested that the Council should have sought consent from BCCUK before allowing the proposals to proceed. Ignoring the needs of the Community Centre and Temple is considered to be discriminatory; and the Council appear to be demonstrating a lack of commitment to its Nepali, Gurkha and Buddhist communities. No explanation for these failings by the Council has been provided to BCCUK date.

[Officer Note: The matters raised in this final paragraph are undoubtedly of concern to members of BCCUK, however they are not issues that can be taken into material account in the consideration of the current planning application on its relevant planning merits. Indeed, the current planning application is not considering whether or not the Council should be selling the car park for development, but solely the planning merits or otherwise of the development proposals that have been submitted by the

prospective purchaser of the land in question. The matters raised by BCCUK in this final paragraph are, instead, entirely separate matters for the Council in its capacity as the past and current owner of the Parsons Barracks Car Park and, indeed, the applicants as prospective purchasers and developers of the land. In this respect it is understood that the Council, in liaison with the applicants, have met (and are in correspondence with) representatives of BCCUK to seek to address the issues that they raise.]

The Planning Consultant engaged by BCCUK (Neil Davis Planning) raises the following additional and/or expanded points:-

The removal of public car parking provision would adversely affect highway safety in the immediate area. The car park currently provides 167 parking spaces; BCCUK members would be likely to make use of a significant proportion of these on a regular basis; and on-street parking in the vicinity is either prohibited or, in the case of nearby side roads, restricted to residents only. As such, there is no obvious alternative parking provision available nearby for BCCUK members to use.

Indeed, whilst there are other public car parks within Aldershot Town Centre, it is opined that these are located some significant distance away from the BCCUK site; and there is, in any event, the real prospect that they would be overwhelmed during BCCUK events, thereby impacting upon the use of the town centre car parks by shoppers and other commercial users, which is their primary intended purpose.

The original planning permission for the Buddhist Community Centre and Temple approved by the Council in 2013 (13/00311/COUPP) made provision for only 3 on-site parking spaces; and was approved by the Council almost exclusively reliant on the availability of the adjoining long-stay public car park to provide for the parking needs of the use. Indeed, the 'Highway Consideration' section of the Officer Report to Committee stated:- *"The Transportation Strategy Officer has reviewed the proposal in the light of the information provided and considers that the three on-site spaces, together with the public parking at Parsons Barracks, should be adequate provision for the proposed centre, provided the events to be held there are co-ordinated with fixtures at ATFC. On this basis he raises no highway objection to the proposal, subject to a condition requiring a plan detailing how the timing of events is to be managed to avoid clashes with football fixtures"*. It is argued that this makes clear that the Community Centre was only supported by the Council on highway grounds because of the presence and proximity of the adjacent public car park.

With the proposed removal and re-development of the entire car park, and with no proper alternative public parking provision, it is thought highly likely that there would be overspill parking on adjacent and nearby roads that has the potential to give rise to severe impacts on the safety and convenience of highway users of the local road network and, indeed, possibly affecting the operation of the town centre at some times. It is thereby considered that, given the planning history of the Buddhist Community Centre and Temple and the overwhelming need for parking provision, the loss of the entire car park to development would have an unacceptable impact on the operation and safety of adjoining and nearby public highways contrary to Local Plan Policy IN2.

Unsustainable Development : The 'social objective' to sustainable development as defined by the Government in the NPPF, requires that services are 'accessible' and

that planning reflects the current and future health, social and cultural well-being of communities. The BCC is an extremely valuable part of the local community supporting a large Buddhist and Gurkha community both in Rushmoor and beyond. The loss of the car park will inevitably result in visitors taking a much longer route from the town centre, often late at night, as well as an increase in drop-offs at the door on double yellow lines. There would also be no prospect for coaches to park and turn near the BCC site, is currently done in the car park. This will severely impact on the community's ability to hold larger events.

This proposal will result in the loss of a car park which is in effect a 'shared' facility (without making provision for any replacement) and its loss will greatly diminish the sustainability of an important community centre. Furthermore, its loss will reduce the BCC's ability to meet its day-to-day needs. The proposals are therefore considered to run contrary to Government policy and conflict with Local Plan Policy IN1.

Adverse Visual Impact : It is considered that the proposed Care Home would be over-large and monolithic in scale whilst also lacking architectural detail in a prominent location within the Town. It is also considered that its width, height and uniform appearance would not make a positive contribution to the built environment. It is considered that the proposals conflict with the requirements of Local Plan Policy DE1.

Since various planning harms and conflicts with Government guidance and Local Plan policies are identified and there are no other material considerations that are considered to pull in favour of the proposals, it is considered that planning permission should be refused.

A small number of objections to the proposals are raised that are not specific to the impact upon the Buddhist Community Centre and Temple, which are from Councillor Roberts and the occupiers of Flat 11 Alder House, Exchange Close; 30 Laws Terrace; and 62 Coronation Road. These objections are summarised as follows:-

- (a) This site is inappropriate for a Care Home due to noise and disturbance arising from the busy adjoining roads and roundabout;
- (b) The Care Quality Commission (CQC) may have concerns about the proposed Care Home [*Officer Note: this is not a material planning consideration since the CQC oversee an entirely separate regulatory regime for the licencing of Care Homes under separate legislation that is beyond the remit of the Planning system. The applicants will be well aware of CQC requirements and the need to address them and it has to be assumed that the proposals that have been submitted seeking planning permission are designed to comply with all other separate regulation relating to the provision and operation of Care Homes, including that within the remit of the CQC.*]
- (c) Loss of valuable town centre parking facility at a time when significant town centre parking is about to be re-developed;
- (d) The car park is used for lorry parking [*Officer Note: this is believed to be in association with Aldershot street market*] and also by supporters of Aldershot Town FC – in addition to the BCC. No alternative provision is made for these users;
- (e) Overspill on-street parking is likely to affect nearby roads such as St. Georges Road and St. Michaels Road, where on-street parking congestion is already a long-standing problem;
- (f) Increased road/traffic congestion;

- (g) Loss of light and outlook to flats with windows facing towards the site from Alder House, Exchange Close [*Officer Note: a concern raised solely by the occupier of No.11 Alder House*]. This respondent also suggests that the proposed Care Home building be built at the other end of the site in order to address this concern. [*Officer Note: In this respect, the Council must consider the proposals as submitted on their planning merits and cannot prescribe potential preferred alternative proposals as part of the development management process.*]

Following the receipt of the amended Site Layout Plan and applicants' response to the objections on 23 June 2021, the point of contact (and Head Petitioner) for BCCUK, and also the BCCUK Chairman and the Planning Consultants acting for BCCUK, were notified and provided with the opportunity to peruse this material and provide further comments to the Council. In response, BCCUK have replied, largely to reiterate the representations that they and their supporters have already made, but with the following additional points:-

- The proposed five drop-off/pick-up parking spaces shown to be provided within the proposed amended site layout plan are nowhere near enough to provide for the parking requirements of BCCUK; and .
- The other suggestions made by the Council when meeting with BCCUK for the provision of alternative parking beyond the immediate vicinity of their site are not accepted as these are temporary with restrictions and not, as such, suitable to their requirements.

BCCUK has additionally provided a spreadsheet with data of the numbers attending BCCUK, car park usage and events held during 2019.

A representation (neither expressing objection or support for the proposals) has also been received from Hampshire Swifts. This is a charity devoted to the conservation of Swifts in Hampshire and part of a national network of Swift groups throughout the UK. It is recommended that provision of at least 45 integral swift bricks within the proposed development be secured by the imposition of a planning condition should permission be granted.

Policy and determining issues

The site is located outside Aldershot Town Centre on land identified as being part of the general built-up area of Aldershot. It is not located within a Conservation Area and does not contain nor adjoin a Listed Building.

Policies SS1 (Presumption in Favour of Sustainable Development), SS2 (Spatial Strategy), IN1 (Infrastructure & Community Facilities), IN2 (Transport), DE1 (Design in the Built Environment), LN4 (Specialist & Supported Accommodation), NE1 (Thames Basin Heaths Special Protection Area), NE2 (Green Infrastructure), NE3 (Trees and Landscaping), NE4 (Biodiversity), NE6 (Managing Fluvial Flood Risk), NE8 (Sustainable Drainage Systems) of the adopted Rushmoor Local Plan (2014-2032) are relevant.

Also relevant is the Councils adopted Car and Cycle Standards Supplementary Planning Document (SPD) adopted in 2017. The advice contained in the National Planning Policy Framework (NPPF) and National Planning Policy Guidance (NPPG) are also relevant.

The current planning application is not the process with which to consider and/or review the Council's entirely separate decision as the landowner to withdraw the Parsons Barracks Car Park from use and to sell the land for re-development. This was a decision that has been taken by the Council's Cabinet previously. The Aldershot Parking Study Report 2019 document produced for the Council and submitted alongside the applicants' response to the BCCUK objections notes that the site had already been identified by the Council for sale for re-development when the report was being prepared in 2019. Instead, the role of the Council, in this context of this planning application and solely as the Local Planning Authority, is to consider the proposed development the subject of the current planning application on its relevant planning merits.

In this respect, the main planning considerations in the determination of this application are considered to be:-

1. The principle of the proposals in Planning terms;
2. Visual impact upon character & appearance of the area, including impact on trees;
3. Impact upon neighbours;
4. Highways considerations;
5. Flood risk & drainage;
6. Biodiversity & ecology considerations;
7. Sustainability; and
8. Access for people with disabilities.

Commentary

1. Principle –

As a general principle, and within reason, it is an objective of the planning system to seek to make the most efficient use and re-use of existing developed land, such as the current application site. This is supported by the Council's Development Plan Policies and supplementary documents. Although a matter disputed by BCCUK in their objections, the Aldershot Parking Study Report 2019 document produced for the Council and submitted alongside the applicants' response to the BCCUK objections notes that Parsons Barracks Car Park has been found to be significantly under-used, reflecting trends in reduced public car park usage of this and other car parks in the wider Aldershot Town Centre area continuing of previous years.

The adopted Rushmoor Local Plan notes that, in a national context, at Para.10.32, *"The need to provide specialist housing is critical, given that the projected increase in the number of households aged 65 and over accounts for over half of new households."* Further, in the context of Rushmoor, at Para.10.36, that:-

"The findings of the Strategic Housing Market Assessment (SHMA, 2016) suggest a requirement for around 5,580 specialist housing units across the HMA [Housing Market Area, comprising Hart, Rushmoor & Surrey Heath Council areas] over the period 2014 to 2032 to meet the needs of the older population. This is an average of 310 dwellings per annum across the HMA. This forms part of the mainstream for housing and represents some 26% of the total objectively assessed housing need. The SHMA also suggests that there is a registered care need for 2,160 places across the HMA over the period 2014 to 2032."

And at Para.10.37:

“Whilst some of the housing needs of older people will in future continue to be met through the provision of general needs accommodation, specialist provision [of the type proposed with the current application] will be required for an increasing number.”

Adopted Local Plan Policy LN4 relates specifically to proposals for “.....housing designed specifically to meet the identified needs of older people and others with a need for specialist housing, including specialist housing with care”. This policy states that such proposals will be permitted, inter alia, where: “Sites are appropriately located in terms of access to facilities, services and public transport”.

The proposed development can also be considered to be a Community Facility and, as such, that Local Plan Policy IN1 is relevant and states that such proposals are to be supported where:-

“New community facilities and infrastructure are located and designed so that they are accessible to all and compatible with the character and needs of the local community.”

It is considered that there is both a quantitative and qualitative need for a new purpose-built care facility for older people in this location to serve the local community. Indeed, the applicants anticipate the residents of the proposed Care Home would be expected to come from within a radius of no more than 3 miles from the site, or be associated with families/relatives that reside within this catchment area. The site is located close to Aldershot Town Centre, which is considered to be an appropriate location in this respect. It also enables staff and visitors to have a choice of transport mode to travel to or from the Care Home. Whilst some objection to the proposals has been raised suggesting that the vicinity of the application site is perhaps too busy or noisy for a Care Home, the applicants advise that this is, in fact, considered to be a positive attribute for Care Home residents, whom generally appreciate and benefit from seeing and hearing activities taking place around them.

Given the location of the site directly adjoining a busy roundabout junction on a main road (A323), the Council’s Environmental Health Team request that a condition be imposed to require the submission of sound insulation measures, such as acoustic double-glazing, to ensure that the habitable rooms within the Care Home can be adequately protected from undue noise. In any event, it is considered that such measures are standard fitment in Care Homes and, indeed, the thermal insulation requirements of the Building Regulations would require double glazing in any event.

The Geo-environmental Appraisal Report submitted with the application has been considered by the Council’s Environmental Health Team, whom conclude that the Report is acceptable. No evidence of significant contamination was identified during the site investigation and all sample results are within the respective soil guideline values. As a result, no remediation is considered necessary. Nevertheless, as a precaution, it is noted that a watching brief should be maintained during ground works in case previously unidentified contamination is discovered. It is requested that the usual planning condition be imposed in this respect and is considered entirely appropriate.

The planning consultants engaged by BCCUK (Neil Davis Planning) argue that Parsons Barracks Car Park is existing infrastructure and a ‘community facility’ that would be lost, and for which no appropriate alternative parking provision would be provided; and that the needs of an existing community facility (BCCUK) would also be adversely affected. As such, they argue that the current proposals run contrary to the requirements of Local Plan

Policy IN1. However, this policy is concerned with the consideration of proposals for the provision of **new** infrastructure and community facilities. In this regard, it is considered that the proposed new Care Home does not generate any need for provision of new infrastructure to address any needs arising from the proposal either alone or cumulatively with other Care Home developments (Criteria 1). Furthermore, the Aldershot Parking Study 2019 submitted as evidence with the application demonstrates that, even taking into account the impacts of the forthcoming town centre re-development schemes, there would be sufficient spare parking capacity remaining in other town centre car parks to cover for the loss of the Parsons Barracks Car Park (Criteria 8. 2.). In this respect, it is noted, for example, that the Railway Station Car Park is also substantially under-used and, indeed, the Report recommends that, in the absence of the Parsons Barracks Car Park, people attending home football fixtures and events at the EBB Stadium could be directed to park in this other nearby car park instead, which is located within short walking distance of the Stadium. It is considered that similar consideration applies to meeting the on-going parking needs of BCCUK. As a result, it is not considered that the loss of the existing car park and the impacts upon the use and operation of the BCCUK site the subject of their objections render the current Care Home proposals contrary to the criteria set out in Local Plan Policy IN1.

In the circumstances, it is considered that the proposed development the subject of the planning application is acceptable as a matter of principle in Planning terms, subject to being found acceptable in detail in respect of the identified relevant determining planning issues, which are considered in the following paragraphs.

2. Visual Impact –

It is Government planning guidance that, in assessing impact of proposed development upon the character and appearance of an area, this should be considered in the light of the impact upon the area as a whole.

In general, the character and appearance of the area is mixed, with the majority of the other surrounding buildings being non-residential, including a number of buildings of at least three-storeys in height. The application site is located in a visually prominent position on raised ground adjoining a busy main road close to Aldershot Town Centre and, as such, may be thought to have the potential to be a local landmark. Nevertheless, the visual appearance of the site as existing is dominated by the mature deciduous trees and extensive landscape planting of the embankment slope adjoining the road frontages of the site, which provide a variable degree of visual screening of the site within depending upon the time of year. This existing site feature, which is to be retained intact, would serve to significantly soften the visual impact of the proposed development in views from the adjoining roads. The proposed development would also, of course, be viewed from the adjoining roads against the backdrop of the considerably larger existing six-storey Telephone Exchange building and its surrounding security-fenced vehicle and equipment compound located to the rear.

Despite the views of objectors on this issue, whilst undeniably a large building of a relatively modern design and external appearance, the proposed Care Home is, irrespective of the existence or otherwise of existing tree and landscape planting screening, considered to be of an entirely conventional and acceptable design that would fit comfortably within the site. Indeed, it is not considered that the proposed Care Home building would be out of proportion with its surroundings or appear overbearing or over-dominant in appearance. A combination of conventional quality external materials would

be used, and, given the variety of external materials used in the vicinity, it is considered that the proposed development would make its own contribution to the existing variety of external materials and finishes to be found within the area. The building design is indicated to use a variety of external materials and detailing to give the proposed building visual interest and articulation. The usual condition can be imposed to require the submission of details of the proposed external materials to be used. The layout of the proposed development also provides clear opportunities for quality landscape planting in respect of the residents' amenity terrace areas, but also to the front of the building where it adjoins the private access road; and also to bolster the road frontage embankment planting where necessary. Appropriate landscape planting details in this respect can be secured by imposition of the usual planning conditions.

Given the evident amenity and screening value of the trees located on the road frontage embankment of the application site, it is considered that the proposed development has been designed to provide adequate separation from them. None of the trees at the site are subject to a Tree Preservation Order (TPO), but all but one small tree are to be retained. Indeed, the submitted Arboricultural Report tree survey reveals a total of 45 items of vegetation (36 individual trees and 9 groups of trees). Of these, 5 trees were identified as retention category 'A', 16 trees and 6 groups were identified as retention category 'B', 14 trees and 3 groups as retention category 'C' and 1 tree as category 'U'. Just one tree (T24 : U-Category : a young Robinia) is shown to be removed due to decay and likely short life. The Report submitted with the application assesses both the condition/quality of the trees, provides appropriate justification for the tree to be removed; and also sets out recommended tree protection measures to be observed for the duration of the construction phase of the proposed development.

The Council's Arboricultural Officer is satisfied with the content and findings of the submitted report and considers that the existing trees to be retained would be adequately protected from harm during the construction period. Subject to the imposition of conditions requiring the proposed tree protection measures be implemented in full and retained for the duration of the construction period of the proposed development, it is considered that the proposals are acceptable having regard to Policy NE3. Overall, subject to this condition, it is not considered that the proposed development would materially and harmfully affect trees worthy of retention.

Notwithstanding the objections raised, it is not considered that the proposed development would materially and harmfully affect the visual character and appearance of the area. Indeed, it is considered that the proposed development would be appropriately sympathetic to the already varied pattern and form of development of the area. It is therefore considered that the proposals are acceptable in visual terms.

3. Impact on Neighbours –

It is considered that, due to the nature of the proposed use and the degree of separation of the proposed development from all surrounding neighbours there would be no material and harmful physical impacts arising from the proposals. In this respect, whilst the occupier of a flat at Alder House in Exchange Close has objected to the loss of a view and sunlight/daylight from their flat towards the Ordnance Roundabout, this property is located some distance from the proposed development on the far side of the Telephone Exchange site. As such, whilst there would be a change to the outlook from some Alder House flats, it is not considered that this is to the extent that the proposed development would have any material and harmful impact on the amenities of occupiers of this or other similar flats

in Alder House in planning terms.

Objection has been raised by members and visitors of the adjoining BCCUK site at 8 High Street on account of the impact that the loss of the adjoining public car park would have on their activities. The main concerns raised in this respect relate to the consequential impacts upon the safety and convenience of highway users and are, therefore, considered in the following '**4. Highways Considerations**' section of this report below. Nevertheless, BCCUK has also suggested that the loss of the public car park adjacent to their site would also be likely to curtail their activities and the use of the BCCUK site (a community facility) to the detriment of the Buddhist, Nepali and Gurkha community in Rushmoor and further afield. This matter is addressed in the '**1. Principle**' section of this report.

4. Highways Considerations –

It is proposed that the existing vehicular access to Ordnance Road be retained to serve the proposed Care Home via the existing private access road. These existing vehicular access arrangements have more than adequate visibility sight-lines and traffic capacity to serve the proposed development and the remaining existing users and, as such, are considered acceptable.

29 on-site spaces would be provided to serve the proposed Care Home. The applicable car parking standard for care homes according to the Council's adopted Parking Standards SPD (November 2017) is calculated on the basis of spaces to be provided for visitors, plus spaces for full-time equivalent staff, which would generate a maximum theoretical parking requirement of 41 spaces for the current proposals. However, in this case, it is not proposed that any staff would be resident on site; and care for residents would be provided around the clock using a shift system such that not all staff would be on site at the same time. On the basis of the information concerning staff numbers submitted by the applicants with the application it is considered that the peak staff and visitor parking requirement at the site would be unlikely to exceed the 29 parking spaces that are proposed at any time. Accordingly, it is considered that the overall parking provision for the proposed care home would be adequate, subject to a condition to require that the indicated quantum of parking spaces be provided and retained at all times for parking purposes for the use of staff and/or visitors to the Care Home.

Servicing of the proposed Care Home would take place from the one-way service drive and lay-by to be provided in the site layout. This is considered to be an acceptable arrangement.

HCC Highways also request imposition of a condition requiring the submission of a Construction Management Plan. In this respect the scale of the works involved is significant in a vicinity where there are very limited opportunities for parking and loading and unloading from the public highway – and, indeed, were this to occur, this would be likely to disrupt traffic using busy distributor roads through the town. In the circumstances it is therefore considered reasonable to require the submission of a Construction Management Plan.

Objection is raised to the proposals on the basis of the loss of the existing public car park (to be replaced by the proposed development) because it is argued by members and visitors of the adjoining BCCUK site that they are reliant on the continued availability of the car park. In this respect BCCUK suggest that adverse highway safety and convenience consequences for highway users are likely to arise. These include potential nuisance on-street car parking in surrounding roads in the wider vicinity of the BCCUK site, especially when special events are being hosted by BCCUK, the possibility that Town Centre car parks could sometimes be overwhelmed by additional demand for public parking; and also

the likely disruption of traffic on busy roads adjoining the BCCUK site as vehicles alight for drop-offs and pick-ups.

In considering the planning application for the change of use to facilitate the creation of the Buddhist Community Centre and Temple in 2013 (13/00311/COUPP) the Council, as Local Planning Authority (LPA), did, indeed, consider that the proposals were acceptable in highway terms, partly on the basis of the existence of the adjoining Parsons Barracks Car Park. In the circumstances that existed then it is considered that it would have been unusual if the LPA had not acknowledged the existence of the adjacent public car park. Further, it is considered most unlikely that a decision to refuse the BCCUK proposals on grounds of inadequate on-site parking provision would have been upheld at appeal given the existence of the adjacent public car park. Additionally, No.8 High Street already had a lawful planning use as a social club prior to its acquisition by BCCUK and, as such, already had the potential to generate parking demand off site on account of this existing use. Additionally, according to the information submitted with BCCUK's planning application in 2013, BCCUK then estimated that 60% of attendees would arrive by bus, 15% by train, 10% on foot, and just the remaining 15% by car. Additionally, it was argued that the Bus and Rail Station is just a 5-minute walk away. Being in a sustainable central urban location close to the Town Centre, railway/bus stations and a number of public car parks; and seeking the change of use of a site benefiting from a long-established existing lawful planning use as a social club; it is considered likely that the BCCUK proposals would have been found acceptable by the Council even in the absence of an adjacent public car park. Indeed, it is difficult to see how the Council could have sustained a decision to refuse the BCCUK proposals in 2013 on highway grounds irrespective of the existence of otherwise of the Parsons Barracks Car Park.

The information on car park usage submitted by BCCUK for 2019 (i.e. pre-Covid) with their objections to the current planning application provides estimates for the proportions of the different modes of travel of members and visitors that are significantly different from those put forward with their application in 2013. Although the methodology for the BCCUK car park usage data for 2019 is not provided, taken at face value, BCCUK has estimated that 85% of devotees and visitors were car-borne in 2019; 10% walked to the site and the remainder travelled to the site by bus. Given the existence of the adjacent public car park, it seems likely that this has encouraged an extent of car-usage since the BCC was established that was not anticipated, considered or accepted as likely back in 2013. However, whilst it would seem that a clear majority of members and visitors have become accustomed to attending the BCC by car in preference to mainly using the non-car modes of transport originally anticipated in 2013, BCCUK do not own or control the use of the Parsons Barracks Car Park. It is understood that the Council has not, at any time, contracted with BCCUK to make the car park available in part or exclusively for their use. Neither has the Council provided any guarantees to BCCUK that the car park would remain available for their use or generally. Indeed, the Council were/are not obliged to provide and maintain a public car park at the Parsons Barracks site and were/are at liberty to sell this property should they wish. Nor were the Council obliged to obtain the agreement of BCCUK before deciding to sell the car park land. Whilst it is accepted that BCCUK may well have chosen to acquire their current site taking into account the existence of the adjacent public car park, this was a property acquisition decision made by BCCUK alone, including their assumptions about the ready availability of the adjacent car parking not in their ownership or control.

Since BCCUK originally envisaged that some 85% of members and visitors would travel to the BCCUK site by non-car modes of transport, it is considered implicit that the BCCUK

site could continue to function in the absence of the adjacent car park. The issue to consider in respect of the current application proposals is, instead, whether there would be any material and harmful highway issues arising from the necessary consequential adjustments to less convenient transport arrangements that members and visitors to the BCCUK site would have to make in the absence of the Parsons Barracks Car Park.

In this respect, the applicants have responded to BCCUK's concern that, as a result of the current application proposals, there would be no drop-off/pick-up facility available to the BCCUK site. The amended site layout plan submitted on 23 June 2021 shows the provision of five parking spaces adjoining the BCCUK site to be dedicated with this particular purpose in mind. In addition, it is incorrect to characterise the proposed development as withdrawing all of the parking spaces at the application site from potential public use. This is because there are some 15 in-line parking spaces situated along the north side of the Car Park access road adjoining the Telephone Exchange that are located within the red-line of the current application site – and would remain intact as a result of the proposed development. These spaces are not shown to be involved with, or required for, the proposed development. Indeed, it is not considered that these spaces are needed to justify the proposed on-site parking that is to be provided for the proposed Care Home. Accordingly, on the assumption that these retained parking spaces will remain in parking use as existing, it is considered that an existing opportunity for parking close to the BCCUK site that could be used by some further members and visitors to the BCC would be retained.

In addition, the applicants have submitted a copy of the Aldershot Parking Study 2019 in response to the objections raised by BCCUK. This provides evidence of the substantial under-use of publicly accessible car parks in the vicinity of Aldershot Town Centre. As such, it is considered that impacts of the deletion of the Parsons Barracks Car Park from use could be absorbed by any displaced parking demand making better use of other town centre car parks. In the context of the meeting needs of Aldershot Town FC for match-day parking (and by extension events at the BCC) it is considered that this is most directly the Aldershot Station Car Park. In 2013, BCCUK noted that the Station was an acceptable 5-minute walk away from their site.

Having regard to the suggestion that overspill nuisance car parking could take place on adjoining and nearby roads, it is not considered that this is likely to give rise to material highway safety and convenience problems. Indeed, BCCUK's objections note that on-street parking in the vicinity of their site is either prohibited or, in the case of nearby side roads, restricted to residents only. There are few alternative street parking opportunities nearby that BCCUK members and visitors would be likely to use and it is considered that any opportunities that are potentially available would be dispersed onto smaller residential side roads where the impacts are likely to be localised and less significant overall.

In order to raise reasons for refusal to planning applications on highways grounds it is necessary for the Local Planning Authority to demonstrate with clear evidence that the proposals would give rise to a 'severe' impact to the safety and/or convenience of highway users. Accordingly, it is not possible to merely cite an adverse impact on highway safety and/or convenience : the adverse impact must be demonstrably 'severe' and this is reflected in the wording of Policy IN2. However, in this case, notwithstanding the objections raised on highways grounds, it is not considered that the loss of access by BCCUK members and visitors to the same extent of convenient adjacent public car parking would be likely to give rise to additional harm to the safety and convenience of highway users of sufficient magnitude to justify the refusal of the current planning

application on highway grounds. Given that the proposed Care Home scheme itself is also considered to be entirely acceptable in highways terms, the Highway Authority (Hampshire County Council Highways) raise no highways objections to the proposals.

Accordingly, overall, it is considered that the proposals are acceptable in highway terms.

5. Flood Risk & Drainage –

The site is located within Flood Zone 1, which is land at the lowest risk of flooding. As a result, the Environment Agency raise no objections as standing advice and no mitigation measures in respect of flood risk are indicated as being necessary.

Local Plan Policy NE8 requires all new buildings and the development of car parking and hard standings to incorporate Sustainable Drainage Systems (SUDS). Hampshire County Council as the Lead Local Flood Authority (LLFA) has considered all of the plans and information submitted by the applicants in respect of the proposed surface water drainage for the proposed development. In this respect it is proposed that a SUDS system be introduced with restricted outflow to control surface water discharges off-site. Following some correspondence and the provision of some additional information, the LLFA has confirmed that the submissions are acceptable and raise no objections subject to a condition.

It is therefore considered that the requirements of Local Plan Policies NE6 and NE8 would be met.

6. Biodiversity & Ecology considerations –

(a) On-Site Ecology: That part of the application site where development is actually proposed is restricted to the existing car park and, as such, has minimal potential as wildlife habitat or indeed, for any protected wildlife species to be present. The existing planted and treed road frontage banks within the site are to be retained intact with the development with the exception of the removal of a single small tree and, as such, would also retain its existing ecology and biodiversity value intact.

(b) Thames Basin Heaths Special Protection Area: the application site is located approximately 1.3 km from the nearest part of the Thames Basin Heaths Special Protection Area (TBHSPA or SPA) and, as such, is located within the 5km zone of influence of the SPA within which it is necessary to consider the impact of the proposed development upon the nature conservation interests and objectives of the SPA. It is, however, situated outside the 400-metre zone that is considered the most sensitive in terms of likely impacts. In this respect, the Council as the Local Planning Authority is identified by the UK Habitats Regulations as the 'Competent Authority' obliged to consider and determine whether or not, on a precautionary basis, any material harms would arise to the SPA from a proposed development, either individually, or in combination with other projects.

In respect of institutional residential accommodation falling with Use Class C2, it is Natural England's (NE's) policy to consider very carefully the likely mobility of residents in order to assess whether or not there would be any likelihood of any recreational use of the SPA by residents and, if so, whether or not to raise objection to those proposals.

In this case, NE raises no objections on the basis that either:-

(a) conditions are imposed to restrict the nature of the occupancy of the proposed Care Home as follows:

- The use of the property is to be restricted to being a C2 nursing care home.

- The care home shall not be occupied other than by persons of limited mobility who require full time nursing care and/or those who require high dependency dementia care. Persons of limited mobility shall be defined as persons whose physical condition prevents the walking beyond 400m. Such a physical condition shall first be verified by the Care Home Operator by means of referral from a General Practitioner prior to the occupation of the Care Home by any potential resident.
- No residential staff accommodation will be provided on site and rooms will be for single occupancy.
- Car parking will be restricted exclusively to staff and visitors.
- A covenant will prevent the keeping of pets on the premises (with the exception of assisted living dogs).

OR, instead:-

(b) an appropriate SPA financial contribution being secured with a s106 Planning Obligation to avoid SPA impact.

The applicants have considered these options and have indicated that they wish to pursue Option (a) [Conditions], but that conditions along the lines indicated by NE exceed what is considered necessary to ensure no impact upon the SPA arises. In particular in this respect, the applicants are of the view that restricting the proposed C2 use to being a nursing home is not acceptable because it does not reflect the nature of the Care Home that they are seeking to provide; and it would also, in practice, be an unenforceable restriction in any event.

NE produces guidance on the criteria for assessing the extent of mobility of residents of proposed Care Homes, as follows:-

“C2 / C3 Care Homes

The key factor when assessing any planning application claiming to be a care or extra facility is the mobility of the residents. The Use Class of C2 or C3 is irrelevant. The key factor is whether there is any risk of the residents of the facility causing likely significant effect upon the integrity of the SPA.

*For example, any facilities that house residents that will never, or are very unlikely to visit the SPA **would not require any mitigation**. This includes facilities where residents are blind, in comas or of such limited mobility that they do not leave the facility at all. One of the key indicators to us in terms of how mobile the residents would be relates to the number of facilities on site. If there are lots of car parking and/or bike spaces on site for the residents and there is a gym, swimming facilities etc., then the residents are of a mobility level that would not preclude them from visiting the SPA. This would also be assumed in facilities where residents are in self-contained accommodation and can therefore live reasonably independently, even if there is a level of care required. In these cases avoidance and mitigation would be required.”*

And:

“One thing to also consider is whether the residents of these dwellings will be bringing families and children with them. If it is likely they will only support individuals or couples, in these cases Natural England accept reduced contributions towards SPA mitigation, than we would request from a traditional C3 open market dwelling.

Case Example

An application for a new facility including 10 dwellings of extra care to house immobile patrons as well as a 100 x 1 bed and 20 x 2 bed rooms, with the only condition being that the residents have to be over 60 years of age. In the above case, the 10 extra care dwellings would not have to provide any mitigation measures. For the 120 rooms, we would model how many people would be likely to be using the development as a home. In this case 100 x 1 bed, and 20 x 2 bed = 140 people. We would divide this by 2.4, the average occupancy rate across TBH, to give the requirement of 59 contributions, instead of 120. This is because the method by which to work out SPA Contributions for LPAs is by the number of traditional C3 dwellings. This calculation converts the care facility into those.

There are then other factors that could affect this 59 dwelling figure depending on previous use of the site, number of car parking spaces etc. We are ultimately looking to assess how likely people are to make it to the SPA. If they have a parking space per unit, then they are likely to have cars, and under the precautionary principle have the ability to get to the SPA. No car parking, then they have to rely on public transport which reduces the risk level.

We do not accept evidence from nursing facilities breaking down average occupancy and average age ranges across the suite of their care homes. The Precautionary Principle within the Habitats Regulations dictates that we have to assume they are all of a health that wouldn't stop them from visiting the SPA. We will however consider any other evidence they would like to submit, and also could accept green space provision on site, if it is good enough to meet the SANG criteria.

Please see section (d) for how to deal with these types of development that include provision for staff on site."

It is clear that NE attach some significance on the extent, or otherwise, of the facilities being provided on site with a proposed Care Home that are indicative of residents being sufficiently mobile to give rise to the likelihood that they may visit the SPA for recreation, such as the existence of swimming pools, gyms, and facilities for independent living. However, it is considered that none of the factors that may be suggestive of the residents having sufficient mobility to possibly visit the SPA are applicable to the current proposals. The submitted plans for the proposed development do not show any such facilities are to be provided – indeed, there is no room for the provision of such facilities in the scheme on this site. Residents would all have single-bed rooms with en-suite facilities and communal dining and living room facilities. Furthermore, the parking/bike spaces to be provided for the Care Home are just sufficient for staff and visitors. Additionally, there are no facilities shown to be provided for the use/recharging/storage etc of mobility scooters within the proposed development. Whilst it is not proposed that the Care Home provides nursing care, it is clear that i]residents will be of limited mobility.

It is considered that the conditions agreed with NE for a new Care Home at Randell House (18/00614/FULPP), a site located in a much more sensitive position relative to the SPA because it is situated within 400 metres of the SPA at Hawley Woods, are of consideration with the current case. The conditions imposed in that case were:-

"7. Notwithstanding the provisions of the Town and Country Planning (Use Classes) Order 1987 (or any other Order revoking or re-enacting that Order), the land and/or building(s) shall be used only for the purpose of a Use Class C2 care home and be occupied solely by persons whom are mentally and/or physically frail; have mobility problems; suffer from paralysis or partial paralysis; or are in need for assistance with

the normal activities of life. The care home hereby permitted shall not be used for any other purposes, including any other purpose within Use Class C2, without the prior permission of the Local Planning Authority.

Reason - For the avoidance of doubt; to ensure no harm arises to the nature conservation interests and objectives of the Thames Basin Heaths Special Protection Area; to protect the amenities of neighbouring residential properties; and to prevent adverse impact on traffic and parking conditions in the vicinity.

8. The care home shall provide a maximum of 58 client bed spaces and a single two-bedroom rehabilitation apartment only unless with the prior written permission of the Local Planning Authority.

Reason - For the avoidance of doubt; to ensure no harm arises to the nature conservation interests and objectives of the Thames Basin Heaths Special Protection Area; and in the interests of the safety and convenience of highway users.

9. For the avoidance of doubt, there shall be no self-containment or staff accommodation provided within the care home the subject of this permission.

Reason - To ensure that there is no creation of self-contained and/or ancillary staff residential accommodation to ensure that no impact upon the nature conservation interests and objectives of the Thames Basin Heaths Special Protection Area would arise.

10. There shall be no dogs or cats kept at the care home hereby approved at any time (other than assisted living dogs).

Reason - To ensure that no impact upon the nature conservation interests and objectives of the Thames Basin Heaths Special Protection Area would arise.

11. The care home the subject of this permission shall not be occupied until the 41 parking spaces shown to be provided and/or made available for care home staff and/or visitors as shown on the approved plans have been constructed and/or made available for such use. Thereafter the parking spaces shall be kept available at all times for such parking purposes and shall not be used at any time for the parking/storage of boats, caravans or trailers.

Reason - For the avoidance of doubt and to ensure the provision and retention of adequate off-street car parking to serve the development at all times."

Since the current application site is not located within 400 metres of any part of the SPA it is not considered that it would be reasonable to impose a condition prohibiting the keeping of cats and dogs at the site in the current case. It would also, in practice, be unenforceable. Minus this particular condition, it is considered that the imposition of conditions as applied in the Randell House case would be adequate to ensure, with certainty, that the mobility of the proposed Care Home residents would be insufficient to be likely to have any significant recreational impact upon the SPA alone or in combination with other similar Care Home proposals. The applicants have been advised of these conditions and consider that they are acceptable, since they are workable, restrict the care Home to catering for residents of more retracted mobility and reflect the nature of their proposals.

Subject to suitably-worded condition(s) being imposed as set out above it is therefore considered that the proposed development would be unlikely to have any significant impact upon the integrity and nature conservation interests of the Thames basin Heaths Special Protection Area.

7. Sustainability –

In terms of building design, the submitted Sustainability Statement describes the steps taken to reduce energy demand having regard to the operational requirements of the proposed Care Home. This involves a building designed with glazed areas to maximise access to natural light and to minimise energy requirements for lighting and heating in communal areas, in particular in the main day lounge/dining areas and the quiet lounges. All glazing would be specified to minimise heat loss and excessive solar gain. Other glazing in the corridors and stairwells will provide natural light into circulation areas, reducing the level of artificial lighting required. Low energy luminaires and occupancy sensors would be used throughout the home in the communal areas, corridors, bathrooms, toilets and en-suites to minimise energy use. There would also be a control centre which will enable areas within the building to be isolated at night to further minimise energy use. Overall, it is indicated that renewable energy technologies would be used to deliver in excess of 15% of the predicted energy requirements of the proposed Care Home, in this case, possibly using ground-source heat pump technology.

The National Planning Policy Framework (NPPF) advises that the purpose of the planning system is to contribute to the achievement of sustainable development. In this respect, there are three dimensions to sustainable development: economic, social and environmental. These roles are defined as:-

- *"contributing to building a strong, responsive and competitive economy by ensuring that sufficient land of the right type is available in the right places and at the right time to support growth and innovation; and by identifying and co-ordinating development requirements including the provision of infrastructure;*
- *supporting strong, vibrant and healthy communities, by providing the supply of housing required to meet the needs of present and future generations; and by creating a high quality built environment, with accessible local services that reflect the community's needs and support its health, social and cultural well-being; and*
- *contributing to protecting and enhancing our natural, built and historic environment; and, as part of this, helping to improve biodiversity, use natural resources prudently, minimise waste and pollution, and mitigate and adapt to climate change including moving to a low carbon economy."*

The NPPF also advises that these roles should not be taken in isolation because they are mutually dependent, and the planning system should play an active role in guiding development to sustainable locations. Furthermore, it also advises that housing applications (which includes specialist residential accommodation such as Care Homes, should be considered in the context of the presumption in favour of sustainable development to deliver a wide choice of high-quality homes and create sustainable, inclusive and mixed communities.

The NPPF confirms that the planning system has a key role to play in securing sustainable economic growth that is able to proceed as easily as possible and the economic, social and environmental gains can be positively secured through the planning system. It is considered that the current proposals are fully consistent with the aims of this national planning policy.

8. Access for People with Disabilities –

The proposed development should provide access for people with disabilities at least in accordance with Building Regulation requirements. Indeed, Care Homes are specifically designed to enable the movement of people with mobility difficulties. They are also subject to a range of standards and requirements enforced separately by the Care Quality

Commission and those organisations referring residents to the Care Home. It is considered that adequate means and measures would be incorporated into the development to achieve a good standard of access for people with disabilities.

Conclusions –

Notwithstanding the objections raised, it is considered that the proposals are appropriately sustainable development that is acceptable in principle; would have acceptable visual and highways impacts; give rise to no material and harmful planning impacts upon neighbours; adequately address flood risk and site drainage; have no material and harmful ecological impacts; give rise to no significant impact, alone or in combination, upon the nature conservation interests and objectives of the Thames Basin Heaths Special Protection Area; and provide adequate facilities for people with disabilities. The proposals are thereby considered acceptable having regard to Policies SS1, SS2, IN1, IN2, LN4, DE1, NE1, NE2, NE3, NE4, NE6 and NE8 of the adopted Rushmoor Local Plan (2014-2032).

Full Recommendation

It is recommended that planning permission be **GRANTED** subject to the following conditions and informatives:-

- 1 The development hereby permitted shall be begun before the expiration of three years from the date of this permission.

Reason - As required by Section 91 of the Town and Country Planning Act 1990 as amended by Section 51 of the Planning and Compulsory Purchase Act 2004.

- 2 The permission hereby granted shall be carried out in accordance with the following approved drawings and documents - GU11 2EU-A-01, GU11 2EU-A-02A, GU11 2EU-A-03A, GU11 2EU-A-04, GU11 2EU-A-05, GU11 2EU-A-05.1, GU11 2EU-A-05.3, & GU11 2EU-A-05.4; Design & Access Statement; Planning Statement; Transport Statement & Travel Plan; Arboricultural Report; Site Drainage details/proposals (comprising Drawing Nos.GU112EU-CHG-ZO-00-DR-C-0001 REV.P1, GU112EU-CHG-ZO-00-DR-C-0002 REV.P1 & GU12 EU-CHG-XX-00-DR-C-0300 REV.P2, SiteCheck Flood Report Sheets, Storm Sewer Design Calcs & Thames Water Drainage Connection Conditional Consent); Sustainability Statement; Geoenvironmental Appraisal; Applicant's covering letter; and Response to Objections (received on 23/06/2021).

Reason - To ensure the development is implemented in accordance with the permission granted.

- 3 Notwithstanding any indication of details which may have been given in the application, or in the absence of such information, construction of the following elements of the development hereby approved [the external walls, roofing materials, window frames/glazing, rainwater goods, any new external ground hard-surfacing materials, and any new means of enclosure] shall not start until a schedule and/or samples of the materials to be used in them have been submitted to, and approved in writing by, the Local Planning Authority. Those elements of the development shall be carried out using the materials so approved and thereafter retained.

Reason - To ensure satisfactory external appearance. *

- 4 Provision shall be made for services to be placed underground. No overhead wire or cables or other form of overhead servicing shall be placed over or used in the development of the application site.

Reason - In the interests of visual amenity.

- 5 Notwithstanding the provisions of the Town and Country Planning (Use Classes) Order 1987 (or any other Order revoking or re-enacting that Order), the land and/or building(s) shall be used only for the purpose of a Use Class C2 care home and be occupied solely by persons whom are mentally and/or physically frail; have mobility problems; suffer from paralysis or partial paralysis; or are in need of assistance with the normal activities of life. No vehicle parking/storage facilities shall be provided on site for residents. The care home hereby permitted shall not be used for any other purposes, including any other purpose within Use Class C2, without the prior permission of the Local Planning Authority.

Reason - For the avoidance of doubt; to ensure no harm arises to the nature conservation interests and objectives of the Thames Basin Heaths Special Protection Area; to protect the amenities of neighbouring residential properties; and to prevent adverse impact on traffic and parking conditions in the vicinity.

- 6 The care home shall provide a maximum of 66 client bed spaces only unless with the prior written permission of the Local Planning Authority.

Reason - For the avoidance of doubt; to ensure no harm arises to the nature conservation interests and objectives of the Thames Basin Heaths Special Protection Area; and in the interests of the safety and convenience of highway users.

- 7 For the avoidance of doubt, there shall be no self-containment and/or staff accommodation provided within the Care Home the subject of this permission.

Reason - To ensure that there is no creation of self-contained and/or ancillary staff residential accommodation to ensure that no impact upon the nature conservation interests and objectives of the Thames Basin Heaths Special Protection Area would arise.

- 8 The care home the subject of this permission shall not be occupied until the 29 parking spaces shown to be provided and/or made available solely for care home staff and/or visitors as shown on the approved plans have been constructed and/or made available for such use. Thereafter the parking spaces shall be kept available at all times for such parking purposes and shall not be used at any time for the parking/storage of boats, caravans or trailers.

Reason - For the avoidance of doubt and to ensure the provision and retention of adequate off-street car parking to serve the development at all times.

- 9 The development hereby approved shall be implemented and completed in full incorporating the drainage measures as specified by the on-site Drainage Strategy plans, details and documentation submitted with the application (as amended). The approved surface water drainage system shall subsequently be retained and kept fully operational at all times in accordance with the approved details. In this respect, surface water discharge to the public sewer network shall be limited to 38.7 l/s. Any

changes to the approved documentation must be submitted to and approved in writing by Local Planning Authority. Any revised details submitted for approval in this respect must include a technical summary highlighting any changes, updated detailed drainage drawings and detailed drainage calculations.

Reason - To ensure adequate surface water drainage having regard to the requirements of adopted New Rushmoor Local Plan (2014-2032) Policy NE8.

- 10 The 5 on-site parking spaces to be re-constructed so as to be approached from the adjoining private access road as shown shaded pink on the amended Site Layout Plan GU11 2EU-A-03A received by the Local Planning Authority on 23 June 2021 shall be re-constructed and laid out as indicated and subsequently provided and kept made available in perpetuity at all times for general public parking use. Furthermore, the 15 in-line parking spaces located along the north side of the private access road within and adjacent to the boundary of the application site shared with Aldershot Telephone Exchange shall also be kept made available in perpetuity at all times for general public parking use.

Reason - In the interests of the safety and convenience of highway users.

- 11 Prior to the first occupation of the Care Home the subject of this permission, notwithstanding the indications for landscape planting shown on the plans hereby approved, a fully detailed landscape and planting scheme (to include landscaping incorporating biodiversity enhancement measures (such as the provision of appropriate bat or bird boxes at the site) shall be first submitted to and approved in writing by the Local Planning Authority.

Reason - To ensure the development makes an adequate contribution to visual amenity and biodiversity enhancement. *

- 12 All planting, seeding or turfing comprised in the approved details of landscaping shall be carried out in the first planting and seeding season following the re-occupation of the building the subject of this permission or the practical completion of the development hereby approved, whichever is the sooner.

Reason -To ensure the development makes an adequate contribution to visual amenity and the amenities of occupiers of adjoining residential properties are adequately protected.

- 13 Prior to the commencement of development a Construction & Traffic Management Plan to be adopted for the duration of the construction period shall be submitted to and approved in writing by the Local Planning Authority. The details required in this respect shall include:
 - (a) the provision to be made for the parking and turning on site of operatives and construction vehicles during construction and fitting out works;
 - (b) the arrangements to be made for the delivery of all building and other materials to the site, including construction servicing/delivery routes;
 - (c) the provision to be made for any storage of building and other materials on site;
 - (d) measures to prevent mud from being deposited on the highway;
 - (e) the programme for construction; and
 - (f) the protective hoarding/enclosure of the site.

Such measures as may subsequently be approved shall be retained at all times as

specified until all construction and fitting out works have been completed.

Reason - In the interests of the safety and convenience of adjoining and nearby residential properties and the safety and convenience of highway users. *

- 14 Construction or demolition work of any sort within the area covered by the application shall only take place between the hours of 0800-1800 on Monday to Fridays and 0800-1300 on Saturdays. No work at all shall take place on Sundays and Bank or Statutory Holidays.

Reason - To protect the amenities of neighbouring residential properties and to prevent adverse impact on traffic and parking conditions in the vicinity.

- 15 The existing trees, hedges and landscape planting on the application site which are to be retained shall be adequately protected from damage during site clearance and works in accordance with the means and measures specified in the JAC Ltd. Arboricultural Report reference 15464/EW submitted with the application and hereby approved.

Reason - To preserve the amenity and biodiversity value of the retained trees and landscaping.

- 16 In the event that unforeseen ground conditions or materials which suggest potential or actual contamination are revealed at any time during implementation of the approved development it must be reported, in writing, immediately to the Local Planning Authority. A competent person must undertake a risk assessment and assess the level and extent of the problem and, where necessary, prepare a report identifying remedial action which shall be submitted to and approved in writing by the Local Planning Authority before the measures are implemented.

Following completion of measures identified in the approved remediation scheme a verification report must be prepared and is subject to approval in writing by the Local Planning Authority.

Reason - To ensure that the site is safe for the development permitted and in the interests of amenity and pollution prevention.

- 17 The development hereby approved shall not be occupied until measures to protect buildings from traffic or other external noise have been implemented in accordance with a scheme to include, for example, bunds, acoustic barriers and double glazing which has been first submitted to and approved in writing by the Local Planning Authority.

Reason - To protect the amenity of the occupiers of the development. *

Informatives

- 1 **INFORMATIVE - REASONS FOR APPROVAL-** The Council has granted permission because:-

Notwithstanding the objections raised it is considered that the proposals are appropriately sustainable development that is acceptable in principle; would have

acceptable visual and highways impacts; give rise to no material and harmful planning impacts upon neighbours; adequately address flood risk and site drainage; have no material and harmful ecological impacts; give rise to no significant impact, alone or in combination, upon the nature conservation interests and objectives of the Thames Basin Heaths Special Protection Area; and provide adequate facilities for people with disabilities. The proposals are thereby considered acceptable having regard to Policies SS1, SS2, IN1, IN2, LN4, DE1, NE1, NE2, NE3, NE4, NE6 and NE8 of the adopted Rushmoor Local Plan.

It is therefore considered that subject to compliance with the attached conditions, and taking into account all other material planning considerations, including the provisions of the development plan, the proposal would be acceptable. This also includes a consideration of whether the decision to grant permission is compatible with the Human Rights Act 1998.

- 2 INFORMATIVE - Your attention is specifically drawn to the conditions marked *. These condition(s) require either the submission and approval of details, information, drawings etc. by the Local Planning Authority BEFORE WORKS START ON SITE, BEFORE SPECIFIC ELEMENTS OF THE PROPOSAL ARE CARRIED OUT or, require works to be carried out BEFORE COMMENCEMENT OF USE OR FIRST OCCUPATION OF ANY BUILDING.

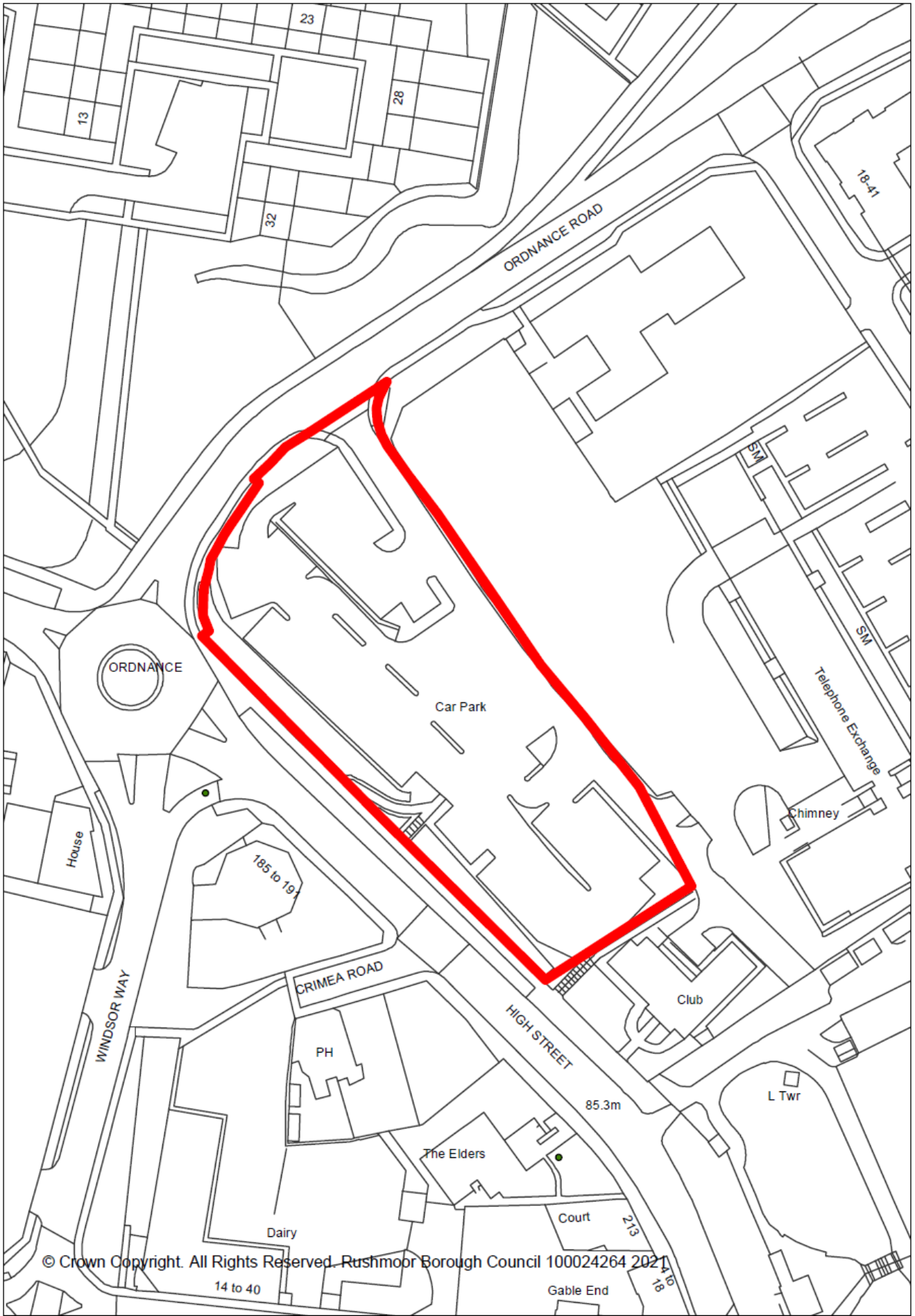
Development started, carried out or occupied without first meeting the requirements of these conditions is effectively development carried out WITHOUT PLANNING PERMISSION.

The Council will consider the expediency of taking enforcement action against any such development and may refer to any such breach of planning control when responding to local searches. Submissions seeking to discharge conditions or requests for confirmation that conditions have been complied with must be accompanied by the appropriate fee.

- 3 INFORMATIVE - The applicant is recommended to achieve maximum energy efficiency and reduction of Carbon Dioxide emissions by:
 - a) ensuring the design and materials to be used in the construction of the building are consistent with these aims; and
 - b) using renewable energy sources for the production of electricity and heat using efficient and technologically advanced equipment.
- 4 INFORMATIVE - Measures should be taken to prevent mud from vehicles leaving the site during construction works being deposited on the public highway throughout the construction period.
- 5 INFORMATIVE - Protective barriers and other measures for trees should accord with the recommendations of BS 5837:2005 'Trees in Relation to Construction'.
- 6 INFORMATIVE - No materials produced as a result of site preparation, clearance, or development should be burnt on site. Please contact the Head of Operational Services for advice.
- 7 INFORMATIVE - The applicant is advised to contact the Head of Operational Services regarding the requirement to provide acoustic insulation. Any scheme of acoustic

insulation must be in accordance with the specifications provided in Schedule 1 of the Noise Insulation Regulations 1975 and must include details of acoustic mechanical ventilation and, where appropriate, solar control.

- 8 INFORMATIVE - The applicant is reminded that the premises should be made accessible to all disabled people, not just wheelchair users, in accordance with the duties imposed by the Equality Act 2010. This may be achieved by following recommendations set out in British Standard BS 8300: 2009 "Design of buildings and their approaches to meet the needs of disabled people - Code of Practice". Where Building Regulations apply, provision of access for disabled people to the premises will be required in accordance with Approved Document M to the Building Regulations 2000 "Access to and use of buildings".
- 9 INFORMATIVE - It is a legal requirement to notify Thames Water of any proposed connection to a public sewer. In many parts of its sewerage area, Thames Water provides separate public sewers for foul water and surface water. Within these areas a dwelling should have separate connections: a) to the public foul sewer to carry waste from toilets, sinks and washing machines, etc, and b) to public surface water sewer for rainwater from roofs and surface drains. Mis-connections can have serious effects: i) If a foul sewage outlet is connected to a public surface water sewer this may result in pollution of a watercourse. ii) If a surface water outlet is connected to a public foul sewer, when a separate surface water system or soakaway exists, this may cause overloading of the public foul sewer at times of heavy rain. This can lead to sewer flooding of properties within the locality. In both instances it is an offence to make the wrong connection. Thames Water can help identify the location of the nearest appropriate public sewer and can be contacted on 0800 316 9800.
- 10 INFORMATIVE - In the UK all species of bats are protected under Schedule 5 of the Wildlife and Countryside Act 1981 (as amended) and under Schedule 2 of the conservation (Natural Habitats & c) Regulations 2004. The grant of planning permission does not supersede the requirements of this legislation and any unauthorised works would constitute an offence. If bats or signs of bats are encountered at any point during development then all works must stop immediately and you should contact Natural England.
- 11 INFORMATIVE - The applicant is advised that during the demolition and construction phases of the development measures should be employed to contain and minimise dust emissions, to prevent their escape from the development site onto adjoining properties. For further information, please contact the Head of Operational Services.
- 12 INFORMATIVE - The applicant is requested to bring the conditions attached to this permission to the attention of all contractors working or delivering to the site, in particular any relating to the permitted hours of construction and demolition; and where practicable to have these conditions on display at the site entrance(s) for the duration of the works.
- 13 INFORMATIVE - The Local Planning Authority's commitment to working with the applicants in a positive and proactive way is demonstrated by its offer of pre-application discussion to all, and assistance in the validation and determination of applications through the provision of clear guidance regarding necessary supporting information or amendments both before and after submission, in line with the National Planning Policy Framework.



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66 BED 3 STOREY CARE HOME
 BUILDING FOOTPRINT - 1113sqm
 TOTAL FLOOR AREA - 3268sqm
 G.I.F.A. - 3098sqm
 SITE AREA - 5387sqm (1.33 ACRES)
 ZERO CAR PARKING SPACES

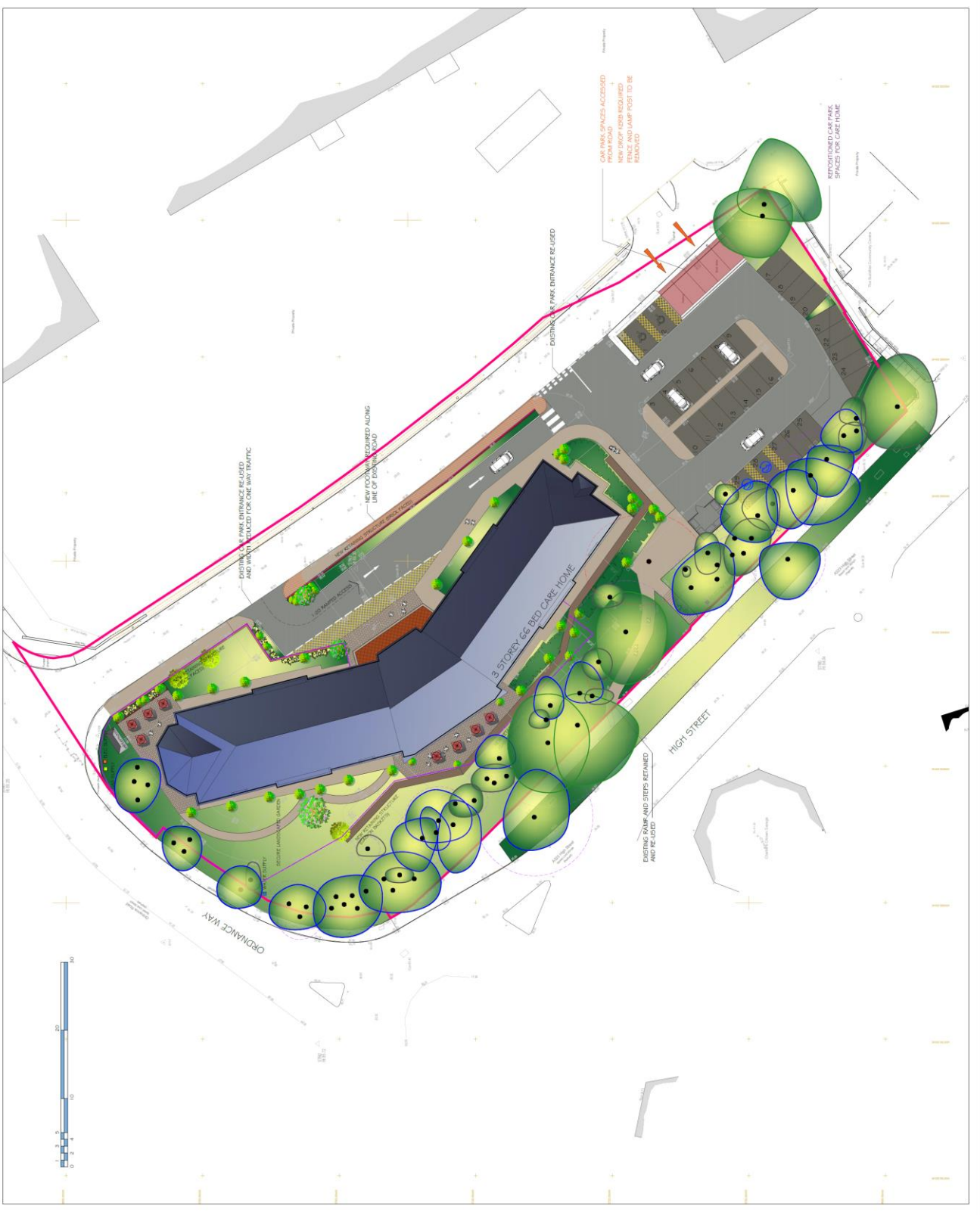


NO.	DATE	DESCRIPTION	BY	CHECKED BY
DETAILS OF AMENDMENTS				
REVISIONS				

LNT Construction
 LNT CONSTRUCTION LTD
 UNIT 10, MESS 47
 HANWELL ROAD
 GARRFORTH
 TEL: 01937 220777
 FAX: 0113 3953959

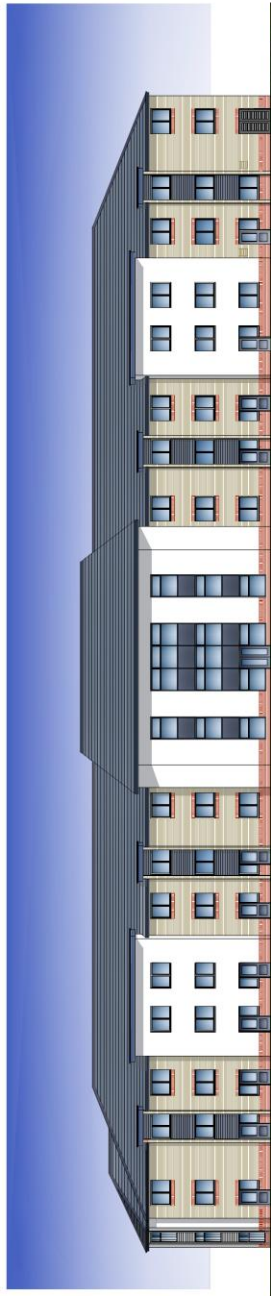
LNT Care Developments

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TITLE	PROPOSED CARE HOME SITE PLAN
SCALE	1:250@A1
DATE	27-01-20
DRAWN	GU11 2EU-A-00A
CHECKED BY	
DESIGNED BY	
PLANNING APPROVAL	
REGULATION APPROVAL	
CHECKED BY	
APPROVED BY	

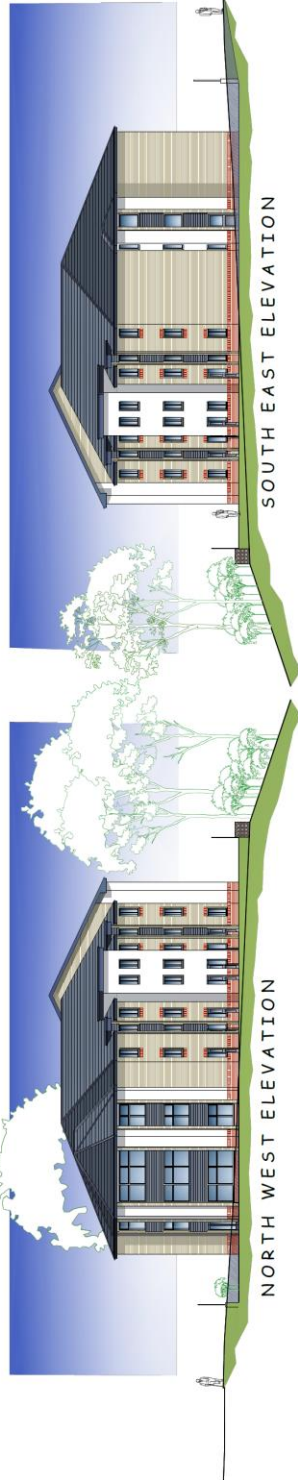




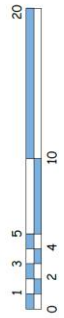
NORTH EAST ELEVATION



SOUTH WEST ELEVATION



NORTH WEST ELEVATION



REV.	DATE	DETAILS OF IMPROVEMENTS	DRAWN
REVISIONS			

LNT Construction
 LNT CONSTRUCTION LTD
 UNIT 2, HELIOS 47
 1000 WINDYBROOK
 GARRFORTH
 LS22 2ZY
 T: 0114 2660068
 F: 0114 2663859

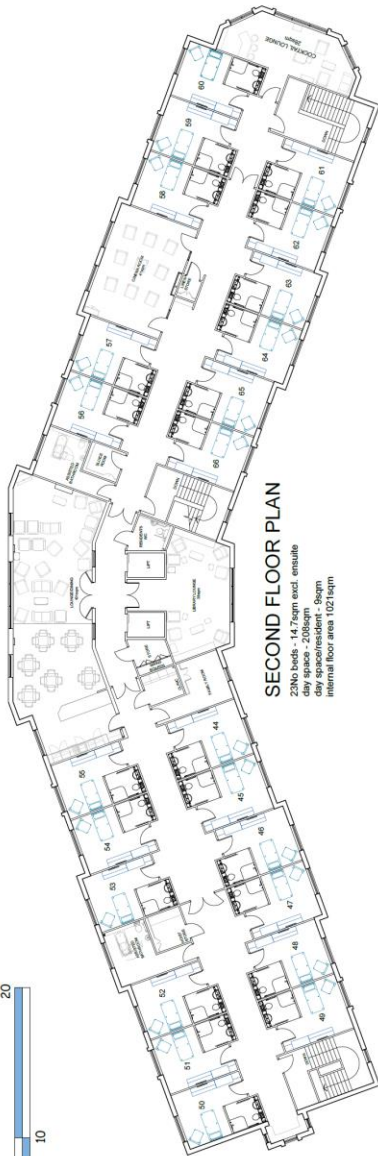
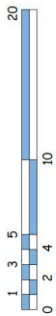
CLIENT: **LNT Care Developments**

SITE: HIGH STREET
 ALDERSHOT
 GU11 2EU

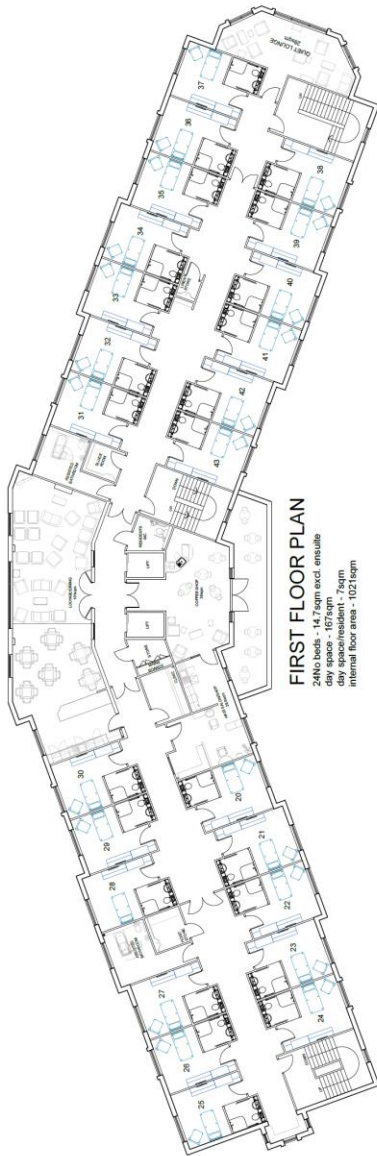
TITLE: PROPOSED CARE HOME
 ELEVATIONS

SCALE	1:150@A1	DATE	27.01.20
DRAWN	GB	DRAWING	GU11 2EU.A.05
DESIGNED	STJ	PROJECT NO.	
PLANNING APPROVAL		PLANNING PERMISSION	
REGULATORY APPROVAL		CONSTRUCTION PERM	
CHECKED BY		DATE	
APPROVED BY		DATE	

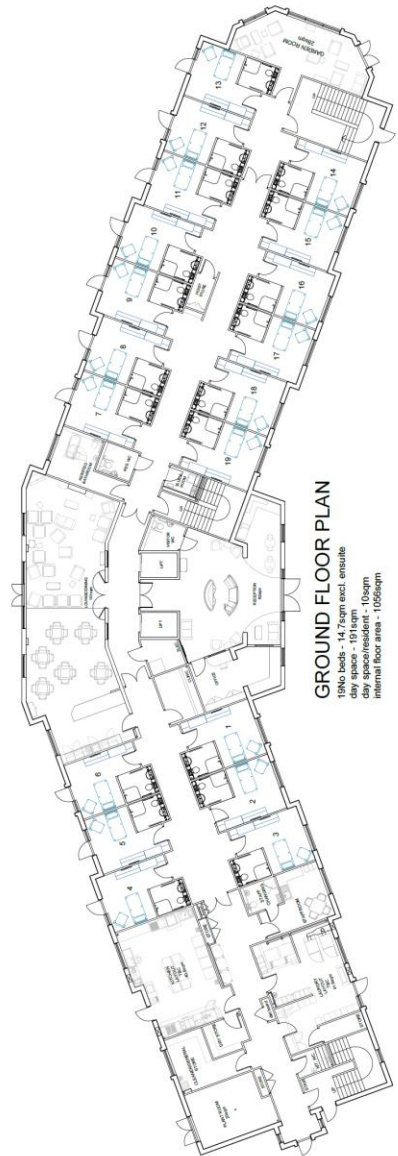
66 BED 3 STOREY CARE HOME
 G.I.F.A. - 3089sqm
 BUILDING FOOTPRINT - 1113sqm
 TOTAL FLOOR AREA - 3209sqm



SECOND FLOOR PLAN
 23No beds - 14.7sqm excl. ensuite
 day space - 230sqm
 day space/resident - 9sqm
 internal floor area - 1021sqm



FIRST FLOOR PLAN
 24No beds - 14.7sqm excl. ensuite
 day space - 157sqm
 day space/resident - 7sqm
 internal floor area - 1021sqm



GROUND FLOOR PLAN
 19No beds - 14.7sqm excl. ensuite
 day space - 191sqm
 day space/resident - 10sqm
 internal floor area - 1056sqm

REV	DATE	DETAILS OF AMENDMENTS	DRAWN
REVISIONS			

LNT Construction
 LNT CONSTRUCTION LTD
 100 WINDMILL LANE
 ISABELLA ROAD
 GARRFORTH
 LEESDALE
 TEL: 0113 3833658
 FAX: 0113 3833659

CLIENT	LNT Care Developments		
SITE	HIGH STREET ALDERSHOT GU11 2EU	DATE	27-01-20
TITLE	PROPOSED CARE HOME FLOOR PLANS	DRAWN	GB
SCALE	1:150@A1	ISSUED FOR	PERMITTED SUBMISSION
CHECKED BY		DATE	
APPROVED BY		DATE	



REV.	DATE	DETAILS OF AMENDMENTS	DRAWN
REVISIONS			
ALL MEASUREMENTS IN MM - DO NOT SCALE - IF IN DOUBT ASK			
LNT CONSTRUCTION LTD UNIT 10, MELOSS 47 1000 W. 10TH AVE. S.W. GARRFORTH L32S 2Z7Y TEL: 416.292.8668 FAX: 416.292.8669			
CLIENT 			
SITE HIGH STREET ALDERSHOT GU11 2EU			
TITLE PROPOSED CARE HOME IMAGE 3			
SCALE	NTS	DATE	27-01-20
DRAWN	GB	DWGNO	GU112EU.A-05.3
PROJECT PROPOSED CARE HOME			
PLANNING APPROVAL REGULATION APPROVAL CONSTRUCTION ISSUE			
CHECKED BY	DATE	APPROVED BY	DATE



REV.	DATE	DETAILS OF AMENDMENTS	DRAWN
REVISIONS			

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SITE
 HIGH STREET
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TITLE
 PROPOSED CARE HOME
 IMAGE 1

SCALE	NTS	DATE
DRAWN	GB	27-01-20
DESIGNED	ST/EL	GU112EU-A-05.1
REVISION		
PLANNING APPROVAL		
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The information, recommendations and advice contained in this report are correct as at the date of preparation, which is more than two weeks in advance of the Committee meeting. Because of these time constraints some reports may have been prepared in advance of the final date given for consultee responses or neighbour comment. Any changes or necessary updates to the report will be made orally at the Committee meeting.

Case Officer	Katie Ingram
Application No.	21/00231/FULPP
Date Valid	19th May 2021
Expiry date of consultations	20th July 2021
Proposal	Erection of an apartment building and ten terraced houses comprising a total of 17 dwellings (3 x 1-bed, 4 x 2-bed and 10 x 3-bed) with associated landscaping and parking, with vehicular access from Morris Road, following demolition of all buildings on site
Address	209 - 211 Lynchford Road Farnborough
Ward	St Mark's
Applicant	Farnborough Assets Ltd
Agent	Mrs Kay Collins
Recommendation	Grant subject to completion of s106 Planning Agreement

Description

The site is level and is located on the north side of Lynchford Road (A3011) between the junctions with Morris Road and Gravel Road. It has an area of 0.3 hectares and is 'L' shaped, partly occupying a backland position behind Nos.213 to 227 Lynchford Road. The site fronts Lynchford Road and has a frontage measuring 24m there, but broadens out to the rear, with the northern site boundary measuring 60m wide.

Whilst there are some commercial uses nearby fronting Lynchford Road, the immediate vicinity of the site is residential. The application site is mainly surrounded by residential properties. Part of Lille Barracks is on the opposite side of the road. No.213 Lynchford Road is an end-of-terrace two-storey house attached to the side of one of the buildings at the application site. The south boundary of the site forms the rear boundaries of Nos.213-227 Lynchford Road. The eastern boundary of the site bounds the rear forms the rear of Nos. 44-50 Gravel Road and 229 Lynchford Road. The rear (northern boundary) of the site abuts some recently built houses at Nos. 1-4 Alfreds Court and the side boundary of No. 17b Morris Road. To the west, No. 207 Lynchford Road is a 3-4 storey block of residential flats, with No.13a Morris Road (a property in commercial use) further to the rear.

There are two main buildings on the site. Fronting Lynchford Road there is a part two-storey, part single-storey, brick building set back from the Lynchford Road frontage boundary by 9m, with some parking in front. This is the building attached to the side of No.213 Lynchford Road. The front of this building was last occupied by a gym and the remainder divided into a number of commercial units, but is now mostly vacant. This building has a flat roof of 6m in height at the front, but most of the length of the building extending back into the site is single-storey with a double dual pitched roof of 5.8m high at the ridge and 2.8m at eaves. This building has an overall footprint of 18m wide by 40m long. To the west of the building is a driveway leading to a central parking area to the rear.

The rear north-east corner of the site is occupied by two attached gable-ended industrial/light industrial brick buildings facing towards the central parking area. The tallest unit, closer to the northern site boundary, has an eaves height of 6m and a ridge height of 8m. The attached smaller building has an eaves height of approximately 3.5m and a ridge height of 5.5m. They form a footprint of 28m wide and are 25m and 18m deep respectively. They are occupied by a window frame designer/supplier and vehicle body repair workshop.

The site has two vehicular entrances from Lynchford Road. There is a one-way system on the site and cars exit the site onto Morris Road, using a private unmade access road. This road is flanked by the side boundaries of Nos. 17b and 15 Morris Road to the north; and the front boundaries of Nos. 13a, 13, 11 and 9 Morris Road on the south side. No. 13a is a commercial building, but the remainder of these properties are residential dwellings. This private road is included within the red-line of the application site.

There is limited planning history for the site. Planning Application 15/00924/COU for a change of use from storage to a gymnasium was granted in 2016.

Proposed development

The application is seeking planning permission for the erection of 17 dwellings on the site, following demolition of all existing buildings, laid out in the following way:-

- A. 7 flats (4x 2-bed and 3x 1-bed) in a 3-4 storey apartment building fronting Lynchford Road adjacent to No. 207 Lynchford Road;
- B. 2 x three-storey 'town houses' fronting Lynchford Road attached to the apartment building (A) and also attached to the adjoining eastern property No. 213 Lynchford Road;
- C. 5 x three-storey (3-bed) houses in a terrace with a north-south orientation in the rear 'L' shaped part of the site between Alfreds Court and the rear of Lynchford Road properties. This terrace would have an overall footprint 21m wide by 9.5m deep;
- D. 3 x three-storey (3-bed) terraced houses (Terrace 2) with an east-west orientation to the rear of the proposed apartment building (A). This terrace would have an overall footprint 12.5m wide by 9.5m deep;
- E. A communal car parking courtyard containing 33 spaces, including three disabled spaces; and
- F. 2 parking spaces in front of the proposed 'town houses' (B).

The application seeks to permanently close off one of the existing vehicle entrances from Lynchford Road such that vehicular access to and from the site would be exclusively via the private road from Morris Road, with the exception of the pair of parking spaces to serve the proposed town houses (B). Refuse collection would, however, remain from Lynchford Road

via a refuse storage area on the ground floor of the apartment building (A) to be used for all properties in the proposed development.

Each of the proposed houses in the scheme would be provided with a rear garden area.

The application is supported by an Acoustic Design Statement, Land Contamination Report, Arboricultural Assessment, Drainage Strategy, Transport Statement, Financial Viability Report, Ecology Enhancement Plan, Detailed Landscape Plan and Planning Statement.

The applicants are in the process of preparing and submitting a S106 Planning Obligation to secure the Strategic Access Management and Monitoring (SAMM) financial contributions towards SPA mitigation; and also the enhancement of public open space.

Consultees

Arboricultural Officer	No objection subject to conditions.
Ecologist Officer	Further information required.
HCC Highways Development Planning	No highway objections and confirms that no Transport Contribution can be required given the net reduction in traffic generation potential.
Hampshire Fire & Rescue Service	No objection. Advice provided, which has been passed on to the applicants.
Environmental Health	No objection subject to conditions.
Thames Water	No objection subject to informatives.
South East Water	No response received during the consultation period, thereby presumed to have no objections.
Parks Development Officer	No objection subject to stated obligation.
Surface Water Drainage Consultations	Further information required.
Hampshire Constabulary	No response received during the consultation period, thereby presumed to have no objections.
TAG	No objection.
Contract Management	No objection.

Representations:

Five representations have been received raising objections to the scheme, from Nos. 213, 223 and 225 Lynchford Road, and Nos. 9,11 and 15 Morris Road. There is also one further representation making neutral comments. These are set out below:-

(a) 213 Lynchford Road:

- As our house is partly attached to the existing building which will be demolished, we are concerned about what damage may occur to our house, and whether the developer will be liable for any damage or compensation
- What effect will this have on living arrangements and the use of our garden. The wall of the existing building lines the full length of our garden. What will be done to make sure it is safe for our family. And if there is a period where we can't use the garden will it be for a long time and will we be compensated
- There are also ground level vents that will be covered by the building
[Officer Note: The above issues are Party Wall considerations that are addressed by legislation outside of the planning system and are not material to the determination of this application. The applicant must approach the property owner directly to address these concerns]
- Our chimney is a working chimney and a wall up against ours seems to us to be dangerous. Our chimney will not function properly due to the airflow being obstructed
[Officer note: This is a private property matter between the developer and this adjoining property owner. The applicant has been made aware of this matter.]
- Our biggest concern of the proposed replacement building is the height of the town houses directly adjoining our property, as they will be significantly taller than the existing building and would cause loss of sunlight to our garden for most of the day. We have very limited sunlight in our garden as it is
- We noticed that the property is also planned to be built further forward than the front line of our house, and although there is an overhang planned the first floor and above will still block light into our front windows
- The proposed build will class our property as a mid-terrace and no longer an end terrace. Will this therefore mean the value of our property will drop
[Officer note: Change in property values resulting from adjoining development is not a consideration material to the assessment of planning applications]
- There are still things that we like about the proposed development, but are concerned about the above.

The other objections are summarised as follows:

(b) Access Road/Highway Issues

- Our property, 9 Morris Road, also has an express right of way over the access road, as do 11 and 13 Morris Road. The proposed development must not infringe upon this.
- 9, 11 and 13 Morris Road have been able to park outside their properties on the unregistered land since at least 1965 and reserve the right to defend this historic arrangement and note that, to the best of our knowledge, the title holders of the proposed development have no legal right to interfere with it as the land is unregistered.
- It appears that one of the titles on the application site has an express right of way over this access road, but the second title does not. This may have implications for access to proposed dwellings on the site

[Officer Note: These are private property matters that cannot be considered under the remit of the planning process]

- Access road has limited width and cannot support two-way traffic.
- Access road has a weight limit
- Access road will only provide limited access for emergency services
- Safety concerns along access road especially as No 9's door opens directly out onto the road
- Harmful noise pollution and vehicle emissions to residents, from cars using the access
- New residents who are dog owners will have to walk their dogs along the access road to reach open spaces. Who will be responsible for keeping this road clean from dog mess? *[Office note: the future behaviour of residents not a material consideration to this planning application].*

(c) Asbestos Removal

- The buildings to be demolished contain asbestos in the roof, guttering and flue
[Officer Note: The removal of asbestos is subject to separate legislation and procedures set by the Health and Safety Executive : it is not a matter material to the consideration of the planning application].

(d) Construction Noise

- Noise during construction will affect my quality of life and disrupt night workers trying to sleep

(e) Impact of buildings to neighbouring amenity

- The building will result in a brick side elevation at the rear of my garden that is considerably higher than the existing building

(f) Congestion

- This development will add further to the congestion and pollution from Lynchford Road

(g) Procedural matters

- The planning application includes unregistered land which is the access leading from Morris Road. The unregistered land does not form part of the applicant's registered titles and therefore evidence of ownership of the unregistered land should be provided if it is to be included within the boundary of the proposed development site.

[Officer Note: An amended application form with a Certificate C declaring that the application was advertised in The Hampshire Independent in order to take all reasonable steps to find out the names and addresses of any other owners of the unregistered part of the application site was submitted to the LPA. Undertaking this process and completing a Certificate C renders the application valid.]

(h) Other

- In the history of the site, I see no reference to the fact that the very elongated building running North to South on the site was originally the first cinema in Farnborough called The Empire Electric Theatre opened in 1911. There is documentary evidence that it was opposite Artillery Road which is shown on OS maps. Is it possible, if approved, that within the conditions the developer could perhaps consider naming the development to reflect this, e.g. Empire House/Mews? *[Officer Note: This is not a matter for the planning application, but it has been suggested that this correspondent contact the agent/applicant directly to make this request].*

Policies and determining issues

The site is located in the defined urban area of Farnborough. The site is not located in a Conservation Area nor adjoins one. There are no Listed Buildings located in the immediate vicinity of the site.

Policies SS1 (Presumption in favour of sustainable development), SS2 (Spatial Strategy), IN1 (Infrastructure and Community Facilities), IN2 (Transport), IN3 (Telecommunications), DE1 (Design in the Built Environment), DE2 (Residential Internal Space Standards), DE3 (Residential Amenity Space Standards), DE4 (Sustainable Water Use), DE6 (Open Space, Sport and Recreation), DE8 (Indoor and Built Sport and Recreation Facilities), DE10 (Pollution), LN1 (Housing Mix), LN2 (Affordable Housing), NE1 (Thames Basin Heaths Special Protection Area), NE2 (Green Infrastructure), NE3 (Trees and Landscaping), NE4 (Biodiversity) and NE8 (Sustainable Drainage Systems) of the adopted Rushmoor Local Plan (2014-2032) are relevant to this application.

The Council's adopted supplementary planning documents (SPDs) 'Car and Cycle Parking Standards' 2017, Affordable Housing SPD, 2019 and Thames Basin Heaths Special Protection Area Avoidance and Mitigation Strategy (AMS) as updated April 2021 are also relevant.

The main determining issues of this application are considered to be:-

1. Principle of development
2. Visual Impact including landscaping
3. Impact on neighbouring amenity
4. The living environment created
5. Highways considerations
6. Affordable housing
7. Impact on trees
8. Public Open Space
9. Flood risk and drainage
10. Impact on wildlife

Commentary

1. Principle of development -

The site is not designated as an Employment Site by the Local Plan. The loss of the industrial and commercial units is therefore acceptable. It is considered that the loss of the gym has been adequately justified by the applicant in accordance with Policy DE8, which states that the loss of indoor and built sports and recreation facilities will be resisted unless equivalent or improved replacement facilities are provided; or the use is demonstrated to be either unviable or that there are adequate alternatives. The applicant has provided a survey demonstrating that there are nine other gym and fitness centres within a 5km radius of the application site. There is an equal split between larger chains and smaller independently owned gym facilities, such as the gym previously located at the application site. The applicant has argued that the gym was not viable compared to the larger chains. A small gym is not a specialist-built facility and could relatively easily occupy another tenancy. In fact the operator of the gym on this site (Fitness UK) has moved to a new facility in Aldershot following the grant of planning permission in 2019. It is therefore considered that the proposals comply with the requirements of Policy DE8.

The Land Contamination Assessment Report submitted with the application has identified elevated concentrations of ground contamination across the site that will need to be remediated to render the site suitable for residential development. Ground gas monitoring has also suggested that the ground gas levels should be further investigated and appropriate gas protection measures will be required. The Council's Environmental Health Officer has reviewed the submitted information and raises no objections subject to the usual conditions to ensure that an appropriate remediation strategy is submitted to the Council for approval and subsequent implementation in full.

The proposed residential development is therefore considered acceptable in principle in this location subject to also being found acceptable in respect of all relevant planning issues in detail.

2. Visual Impact -

The proposed development would be of conventional traditional-style design and appearance and use of external facing materials.

Lynchford Road to the west of the application site is characterised by tall red facing brick terraced houses built up to the highway boundary (now subdivided into flats) of three to four storeys in height. Adjoining these, immediately to the west of the site is No. 207 Lynchford Road, a modern four storey apartment building, with forward projecting gable features/dormers at third and fourth storey levels, whose design is influenced by the height, scale and architectural details of the adjacent town houses. The roof pitch and ridge and eaves heights of the proposed apartment building (A) would match those of No.207. Two flat roofed front dormers match the cornice lines of the dormers on the front elevation of No.207. A vertical emphasis on the front elevation of the apartment building, created by the placement and shape of window openings and a narrow central recess, would continue the established rhythm in the street scene. The plans indicate the use of two different types of bricks, and also render to add further interest and variation to the elevations. The rear of the apartment building has a higher eaves height of 11.4m, and a flat roof height of 11.4m for a depth of 4.2m, to accommodate adequate ceiling heights for the proposed rear fourth-storey apartments. The overall depth of the building largely matches that of No.207 and it is considered the visual impact at the rear would be acceptable. The rear flat roof would not be visible from Lynchford Road as it would be obscured behind the existing and proposed buildings to either side.

Adjoining the east elevation of the apartment building are two 'town houses' (B) with a frontage to Lynchford Road of 9.5m. They would have dual pitched roofs with an ridge height and eaves height of 10.7m and 7.5m respectively; and would be set back 2.8m from the front main wall of the adjacent apartment building (A). They would also be attached to, and set forward from, the front wall of No.213 Lynchford Road by 1.3m. It is considered that the proposed three-storey height of the 'town houses (B) would provide a satisfactory visual transition in height between the apartment building (A) and the adjacent two-storey terraced houses of No.213 onwards. The existing dropped kerb will be retained in front of the town houses (B) and one parking space is proposed to the front of each dwelling with a small overhang above ground level. Cornice lines and fenestration opening of the 'town houses' (B) align with the apartment building (A).

Overall, it is considered that the Lynchford Road frontage of the propose development would be sympathetic to its surroundings and have an acceptable visual impact.

The proposed rows of terraced houses (C) and (D) at the rear of the site would be of two-

storey height and also have an entirely conventional design and external appearance. Each dwelling has a private rear garden rectangular in shape with a minimum area of 42sqm. Although much less publicly visible than the Lynchford Road frontage portion of the proposed scheme, it is considered that these further dwellings in the scheme would have an acceptable visual appearance.

Soft landscaping on the site is provided mainly in the private amenity areas which forms approximately 18% of the site area. The application is supported by a detailed landscape and planting plan. Flowering shrubs and hedges would be planted in front of the apartment building (A), town houses (B) and terraced houses (C & D). A total of 16 Field Maple trees would screen the houses and gardens from the parking areas. There would also be a row Hawthorn trees against the side elevation of Terrace (D). It is considered that the proposed planting is appropriate and would help soften the visual appearance of the development.

It is considered that the scale, site layout, plot grain and design of the proposed development is in keeping with the character of the surrounding area and, as such, that the proposals comply with Policy DE1 of the Rushmoor Local Plan.

3. Impact on Neighbours -

As described above, the site is bound on all sides by residential development, with the exception of the commercial use at No.13a Morris Road, which is situated against the west boundary of the site.

The existing gym and office building is attached to No.213 Lynchford Road, and its side elevation forms the entire side boundary wall to the rear garden of No. 213. As such, this existing building has a significant negative impact upon the living environment and amenities of occupiers of this neighbouring property. Although the proposed three-storey town houses (B) would also be attached to the No. 213 Lynchford Road following the removal of the existing commercial building they would only project 0.7m beyond the rear elevation of No.213 and the remainder of the side boundary of the rear would comprise standard boundary fencing. Whilst the taller height of the town houses (B) would result in some loss of sunlight to the rear north facing garden of No. 213, the new relationship with the application land resulting from the proposal would result in significantly less built form situated against the boundary of No.213, allowing more light and sunlight into the garden area from the west. The town houses (B) would also project forward from the front elevation of No. 213 by 1.3m, however, given that the front elevation is south-facing and the proposed building projection is limited it is considered there would not be a significantly harmful reduction in sunlight and daylight incident upon the front windows of No.213. Overall, it is considered the impact of the proposed development on No. 213 Lynchford Road would be acceptable in planning terms.

The occupants of No. 213 have also raised the specific concern that the taller roof of the town houses would obstruct the air flow to their adjacent working chimney. It would seem likely that this would require some alterations, although it is not considered that any conceivable solution to this issue would have any material and harmful planning impacts. In any event, the granting of planning permission for the proposed development would not supersede the private property rights of the owners of No.213; and the developer would have to negotiate a mutually acceptable solution with them in order to implement this part of their proposed development. The resolution of this issue would be a matter for the Building Regulations and the Party Walls etc Act. It is entirely a private property matter between the developer and the owners of No.213 and, as such, is not a matter for consideration with the current application.

The existing industrial/warehouse building on the site is situated 1m from the north boundary of the application site shared with Nos.1-2 Alfreds Court and No. 44 Gravel Road; 1.3m from the rear /side garden boundaries with Nos.50 & 48 Gravel Road and No.229 Lynchford Road; and 0.8m from the rear boundaries of Nos.221 to 227 Lynchford Road to the south. The northern elevation of the industrial building has an eaves height of 5.5m and a ridge height of 8m sloping back from the boundary and presents a roof gable end to the rear of properties on Gravel Road. The southern elevation of that building measures approximately 3m at the eaves and 5.5m at the ridge, sloping back from the boundary. It is clear that this existing commercial building to be removed has an existing impact upon the amenities of the residential properties that it adjoins.

The side elevation of the row of five terraced houses (C) would be situated 3.5m from the north boundary with 1 Alfreds Court, with an eaves height of 5.6m and a gable end with a ridge of 8.5m. Additional bulk is also added by the transverse roof to the front and rear of the main pitch, which is dropped down by 0.4m from the main ridge. However, this relationship is not considered to result in any significant increase in bulk or overshadowing or loss of light when compared with the existing situation; and with no further loss of light to rear facing windows. It is considered that the relationship with No. 2 Alfreds Court would be improved since there would be no built form immediately to the rear of this neighbouring property as a result of the proposed development. Loss of daylight to rear facing windows and solar panels have been considered and calculated to have minimal impact. There are no windows in the flank elevations of the proposed terrace.

Houses '3, 4 and 5' in Terrace (C) would be separated 9.8m from the rear boundaries of Nos. 48-50 Gravel Road and almost 20m from the rear elevations of the houses in these plots. Houses '5 and 6' would be separated 9.8m from the rear side boundary of No.229 Lynchford Road. The windows to the second floor bedrooms of Terrace (C) are proposed to be obscure glazed and fixed shut to a height of 1.7m above finished floor level (without having a detrimental impact on occupant amenity) and so it is considered that the terrace would not result in harmful levels of overlooking. The windows of the first floor would be screened by existing trees along the boundaries between the properties and the relationship is not considered to cause a material harmful impact to neighbouring amenity.

The south (side) elevation of the Terrace (C) would be situated 4m from the southern boundary with the rear of properties Nos.221 – 223 Lynchford Road. It would be taller than the existing commercial building, measuring 5.6m and 8.5m at the eaves and apex ridge height, but present a significantly narrower flank elevation to its neighbours. Although the proposals would result in some loss of outlook from the garden/rear windows of Nos. 221 to 223, it is considered that the separation distances involved, together with the location to the north of the rear gardens, is such that the relationships with these neighbours is also considered to be acceptable in planning terms.

The front elevations of Houses 9 and 10 of Terrace (D), would be 11m from the rear garden of 17b Morris Road, a semi-detached property. Given the distance between these, it is considered that the second-floor windows serving a bedroom may result in a perception of overlooking and loss of privacy. It is therefore recommended that a condition be imposed in the event of approval that these second floor windows are obscurely-glazed and fixed shut to a height of 1.7m above floor level. The side elevation of the terrace (D) would be 0.3m from the west site boundary with No. 13a Morris Road, however, since this property is in commercial use and the building itself a further 9 metres distant, it is considered that no material and harmful amenity impacts would arise to this neighbour.

With regards to the proposed apartment building (A), whilst it would project 1m beyond the rear elevation of No. 207 Lynchford Road, it is not considered that this would have a material and harmful impact upon the daylighting of adjoining windows. Furthermore, it is considered that views from balconies on the rear elevation of the proposed apartment block would be oblique and, as such, not cause any material loss of privacy due to overlooking.

The access road from Morris Road is flanked to the north and south by Nos.15 & 17b Morris Road to its north and Nos.9,11 and 13 to the south. The central parking area is to the south of 17 b Morris Road and Nos 1-4 Gravel Road. It is considered that the number of vehicle movements using the site would be less than the potential movements (including commercial vehicles) that could be generated from the operation of the existing commercial units and, as such, it is considered the impacts on neighbouring amenity of the proposed residents' car courtyard area would be acceptable.

Taking all matters into consideration it is considered that the proposal would have an acceptable impact on the amenities of the occupants of neighbouring properties and would therefore comply with adopted Local Plan Policy DE1.

4 Living environment created -

It is considered that the proposed flats and houses would all meet the minimum internal floor space standards and private amenity standards required for their indicated occupancy levels. Furthermore, the proposed flats (A) provide on-site private amenity space in the form of a private garden for Flat 1 (30sqm) and 5sqm balconies for Flats 2-7. Gardens for the proposed town houses (B) and terraced houses (C & D) exceed the minimum amenity space standards. As a result, it is considered that the proposals meet the requirements of adopted Local Plan Policies DE2 and DE3.

The acoustic design statement submitted with the application recommends specifications for double and secondary glazing systems to be used for the front elevation of the apartment building (A) and town houses (B) overlooking Lynchford Road, due to the levels of traffic noise measured at this location. The applicant has confirmed they would proceed with these glazing systems rather than reduce the glazed elements in the apartment building. The Council's Environmental Health Officer is satisfied that the proposal will ensure a satisfactory internal acoustic environment for the occupants of the flats subject to a condition that acoustic mitigation measures are agreed with the Council in accordance with the acoustic design statement prior to the occupation of the development. This will also include acoustically rated through-wall trickle ventilation for all habitable rooms overlooking Lynchford Road.

The acoustic report notes that good acoustic design is reflected in the development with balconies at the rear and all bedrooms in the flats being rear facing.

There is the potential for some overlooking from the balconies on the proposed apartment building (A) into the rear garden of houses 8-10 (Terrace D), although the separation distance is 20m, which is generally considered to be adequate. It is a matter for prospective purchasers/occupiers to decide whether they chose to live in the proposed development and the separation distances are large enough resulting in unacceptable impact on occupant amenity by way of overlooking. It is noted that the site will be landscaped with trees in the rear gardens of the houses providing some screening.

With regards to refuse storage and collection, the Council's Contracts Management Team have highlighted that rubbish collections for the whole development to take place from the

Lynchford Road frontage, as Morris Road has historic problems with rubbish collections due to its narrow width and extensive street parking. Furthermore, taking this into account, it is considered that it would be more appropriate for the proposed houses in the scheme to use communal bins rather than having individual refuse and recycling wheelie bins. collecting rubbish as it is narrow with parking on both side of the street. The ground floor of the apartment block (A) is provided with the necessary bin storage area and also an adjoining bin holding area that can be adapted to be a communal bin storage has the bin storage area for the houses in the scheme. Subject to the imposition of an appropriately-worded condition to require the submission of the bin provision and collection arrangements for the development it is considered that the rubbish storage and collection arrangements for the proposed development would be acceptable.

5. Highways Considerations -

Access to the site will be solely via the private road from Morris Road since it is proposed that vehicular access directly from Lynchford Road be closed-up, with the exception of the pair of parking spaces for the proposed town houses (B). As Morris Road is a one-way road, access to this road must be via Lynchford Road eastbound by a left turn only into Morris Road. Egress from the site is right-turn only into Morris Road and, as such, away from Lynchford Road, which would have to be reached by using other roads, such as High Street or Queens Road & Peabody Road. Whilst this situation is not ideal, it is largely the existing situation and new residents would soon learn how to get to and from the site. Further, the application is accompanied by a Transport Statement that demonstrates that the traffic generation potential of the proposed development would be significantly lower than the potential traffic that could be associated with the resumption of the existing commercial uses at the site.

The private access road from Morris Road to be used to serve the proposed development has a width of 6.2m and at its entrance is flanked by No. 9 and 15 Morris Road set back slightly from the highway. As has been noted in the objections, this roadway is subject to existing historic parking by occupiers of the adjoining residential properties such that it is of effective single-way at a time traffic width. Nevertheless, it is considered that since this roadway has, for many years served as the egress to commercial traffic from the site alongside the residents' parking, it would be adequate to cope with the reduced size and weight of traffic that would be expected of the proposed residential development.

Having regard to these considerations, the Highway Authority (Hampshire County Council) has raised no objections to the proposals.

Furthermore, HCC Highways has confirmed that no Transport Contribution can be required in this case since the traffic generation potential of the proposed development is considered to be less than that of a resumption of commercial uses at the site,

35 parking spaces of the correct dimensions, including 4 visitor spaces, are provided in a communal courtyard on the site to serve the development. This provision complies fully with the Council's adopted Parking Standards of 1 space per 1-bedroom and 2 spaces per 2-3-bedroom dwelling : in total a requirement of 31 spaces in this case. Visitor parking standards are 1/3 space per 1-bed and 1/5 space per 2-bedroom property equating to a quantum requirement of 4 spaces. Three of the spaces are disabled spaces which will be for Flats 3,5 and 7 which are accessible/adaptable flats to be built to Building Control M4(2) standards.

A cycle store for the proposed flats (apartment block A) would be located to the rear of the town house plots (B) and accessible from the communal parking area. A condition requiring

further details prior to occupation of the site is recommended to ensure the cycles can be stored in a secure and sheltered manner.

It is considered that, notwithstanding the objections raised, the proposed development is acceptable in highway terms.

6. Affordable Housing -

Policy LN2 requires a minimum of 30% of homes to be provided as affordable homes on sites of 11 or more dwellings, subject to site viability. For this proposal there is therefore a requirement to provide 5 affordable dwelling subject to site viability.

In this respect, the application is accompanied by a Financial Viability Report carried out on behalf of the applicant which concludes that the development is not commercially viable and is therefore unable to provide any elements of affordable housing. In such cases the Local Plan states that proposals which do not meet the affordable housing policy requirements “*will only be acceptable where the viability case is supported by the independent review and accepted by the Council*” (para. 10.21). The Council’s ‘Affordable Housing’ SPD (adopted in September 2019) supports Policy LN2 and provides further detail in this regard. As a result, the applicant’s submission has been assessed independently on behalf of the Council by BPS Chartered Surveyors of Dorking, who have produced an Independent Viability Review Report. BPS conclude as follows:-

“Our analysis shows a decreased deficit of -£151,766 which would indicate that the scheme is not able to viable delivery any affordable housing. We note from sensitivity analysis in Appendix 2, that the scheme could move to a surplus due to relatively small changes in costs or revenues. We recommend, therefore, that viability is subject to a late-stage review.”

The reports also states (para 2.11):-

‘Capitalised ground rents have not been included in KCC’s appraisal. We do note however that at present there is no Parliamentary timescale for considering a Bill to restrict the ability of developers to charge ground rents and we note that developers continue to incorporate such charges in leases. We therefor consider it appropriate for a restriction to be incorporated in this regard within a S106 Agreement to prevent such charges being made in view of affordability. Alternatively, a value should be included for this in the scheme appraisal’.

Whilst PBS has reduced the Financial Viability Report’s deficit they have, however, agreed with the broad conclusions of the viability case and that the proposed scheme is not currently economically viable. As such it is considered that the proposed development complies with the requirements of Local Plan Policy LN2. Nevertheless, since PBS recommend that, to ensure that the applicant does not benefit from any improvement in market value, or cost savings in the implementation of the development, without making a contribution to affordable housing, the development is subject to a late-stage viability review to be secured by the appropriate clauses within the S106 Agreement.

7. Impact on Trees -

The application is supported by an Arboricultural Report and Tree Protection Plan. There are protected trees (T2 and T1 of TPO451 and T9 of TPO292) to the north-east and north of the site on adjoining properties that could potentially be affected by development activity, although none of the root protection areas of these trees are situated within the footprint of the proposed

new buildings. There are also two self-sewn Category C Sycamore trees within the site along the west boundary shared with No. 13 Morris Road that are proposed to be retained.

The submitted Arboricultural Report recommends several protective measures to ensure that no significant root severance or soil compaction / erosion occurs near the trees on the site or on adjoining land. The report also confirms that the trees are unlikely to give rise to pressure from future occupants of the development. The Council's Arboricultural Officer has raised no objections to the proposed development subject to the imposition of a condition that works are carried out in accordance with the tree report and tree protection plan. It is considered that the proposals comply with adopted Local Plan Policy NE3.

8. Public Open Space Provision –

The Local Plan seeks to ensure that adequate open space provision is made to cater for future residents in connection with new residential developments. Policy DE6 refers to the Council's standard and, in appropriate circumstances, requires a contribution to be made towards the enhancement and management or creation of open space, for part or all of the open space requirement.

The Council's Parks Development Officer has reviewed the proposal and considers financial contribution towards general parks improvements at Napier Gardens is appropriate, to be secured by way of a planning obligation. The applicant is in the process of securing such an agreement. Subject to this the proposal is considered acceptable within the terms of Local Plan Policy DE6.

9. Flood Risk and Drainage -

The site is located in Flood Zone 1; i.e. land at least risk of fluvial flooding. A Drainage Strategy Report for the design of surface water management and sustainable drainage systems (SUDS) has been submitted with the application. This proposes construction of a soakaway in the centre of the site to infiltrate surface water to the ground within the site. Hampshire County Council as Lead Local Flood Authority (LLFA) and Thames Water have been consulted on the application. Thames Water has raised no objection. The LLFA has requested further geotechnical investigation and investigation on existing sewer chambers before providing a more substantive response. The applicants have advised that this information will be submitted prior to the Committee meeting, but probably with insufficient time remaining for the LLFA to be re-consulted and to respond in time for the meeting. Nevertheless, it is considered that there is no reason why an appropriate technical solution cannot be found and, as such, subject to the receipt of the updated information and no objection from the LLFA, and the imposition of any necessary conditions to secure an appropriate drainage strategy on this site, it is considered that the proposals would be acceptable on flood risk and drainage grounds.

10. The impact on Wildlife –

Special Protection Area

The European Court of Justice judgement in 'People Over Wind, Peter Sweetman v Coillte Teoranta C-323/17' in April 2018 established the legal principle that a full appropriate assessment (AA) must be carried out for all planning applications involving a net gain in residential units in areas affected by the Thames Basin Heaths SPA, and that this process cannot take into account any proposed measures to mitigate any likely impact at the assessment stage. This process, culminating in the Council's Appropriate Assessment of the

proposals, is overall described as Habitats Regulation Assessment (HRA). Undertaking the HRA process is the responsibility of the decision maker (in this case, Rushmoor Borough Council) as the 'Competent Authority' for the purposes of the Habitats Regulations. The following paragraphs comprise the Council's HRA in this case:-

HRA Screening Assessment under Regulation 63(1)(a) of the Habitats Regulations

The Thames Basin Heaths SPA is designated under the E.C Birds Directive for its lowland heathland bird populations. The site supports important breeding bird populations, especially Nightjar *Caprimulgus europaeus* and Woodlark *Lullula arborea*, both of which nest on the ground, often at the woodland/heathland edge; and Dartford Warbler *Sylvia undata*, which often nests in gorse *Ulex* sp. Scattered trees and scrub are used for roosting.

Heathland is prone to nitrogen deposition due to increases in Nitrogen Oxide. Calculations undertaken for the Rushmoor Borough Council Local Plan found that there will be no incombination impacts on the habitats as a result of development in the Local Plan, including an allowance for 'windfall' housing developments. However within the screening process it will need to be ascertained whether development outside the Local Plan within 200m of the SPA will increase vehicle movements to above 1000 extra trips/day or exceed the Minimum Critical Page 27Load by over 1% either alone or in-combination with the Local Plan.

The bird populations and nests are very prone to recreational disturbance, with birds vacating the nests if disturbed by members of the public. This leaves the young unprotected and increases the risk of predation. Dogs not only disturb the adults, but can directly predate the young.

Visitor surveys have shown that the visitor catchment area for the Thames Basin Heath SPA is 5km, with any proposals for residential development within this catchment contributing to recreational pressure on the SPA. The research also evidenced that residential development within 400m of the SPA would cause impacts alone due to cat predation of adult and young birds.

The retained South East Plan Policy NRM6 and adopted New Rushmoor Local Plan (2014-2032) Policy NE1 (Thames Basin Heaths Special Protection Area) and Thames Basin Heaths Avoidance & Mitigation Strategy (2021), state that residential development within 400m of the SPA should be refused and development within 5km of the SPA should provide Strategic Alternative Natural Greenspace (SANG) of 8ha/1000 additional population and contributions to Strategic Access Management and Monitoring Measures (SAMM) dependant on the number of bedrooms.

It is considered that there is sufficient information available with the planning application provided by the applicants with which the Council can undertake the HRA process. In this case the proposed development involves the creation of 17 net new residential units within the Farnborough urban area. The proposed development is located within the 5km zone of influence of the SPA, but outside the 400-metre exclusion zone. The proposed development is neither connected to, nor necessary to the management of, the Thames Basin Heaths SPA. Furthermore, the proposed development would not result in a net increase in traffic movements in excess of 1000 vehicular movements per day in proximity to the SPA.

All new housing development within 5 km of any part of the Thames Basin Heaths SPA, is considered to contribute towards an impact on the integrity and nature conservation interests of the SPA. This is as a result of increased recreation disturbance. Current and emerging future

Development Plan documents for the area set out the scale and distribution of new housebuilding in the area up to 2032. A significant quantity of new housing development also results from 'windfall' sites, i.e. sites that are not identified and allocated within Development Plans. There are, therefore, clearly other plans or projects for new residential development that would, together with the proposals the subject of the current planning application, have an 'in-combination' effect on the SPA. On this basis it is clear that the proposals would be likely to lead to a significant effect on European site (i.e. the Thames Basin Heaths SPA) integrity.

Appropriate Assessment under Regulation 63(1) of the Habitats Regulations

If there are any potential significant impacts upon the Thames Basin Heaths SPA, the applicant must suggest avoidance and/or mitigation measures to allow an Appropriate Assessment to be made. The Applicant must also provide details that demonstrate any long-term management, maintenance and funding of any such solution.

The project the subject of the current planning application being assessed would result in a net increase of dwellings within 5 km of a boundary of part of the Thames Basin Heaths SPA. In line with Natural England guidance and adopted Rushmoor Local Plan Policy NE1 and the Thames Basin Heaths Avoidance & Mitigation Strategy (2019), a permanent significant effect on the SPA due to an increase in recreational disturbance as a result of the proposed new development is likely. As such, in order to be lawfully permitted, the proposed development will need to secure a package of avoidance and mitigation measures.

Rushmoor Borough Council formally adopted the latest version of the Thames Basin Heaths SPA Avoidance & Mitigation Strategy (AMS) in April 2021. The AMS provides a strategic solution to ensure the requirements of the Habitats Regulations are met with regard to the in-combination effects of increased recreational pressure on the Thames Basin Heaths SPA arising from new residential development. This Strategy is a partnership approach to addressing the issue that has been endorsed by Natural England.

The AMS comprises two elements. Firstly the maintenance of Suitable Alternative Natural Greenspace (SANG) in order to divert additional recreational pressure away from the SPA; and, secondly, the maintenance of a range of Strategic Access Management and Monitoring Measures (SAMMs) to avoid displacing visitors from one part of the SPA to another and to minimize the impact of visitors on the SPA. Natural England raises no objection to proposals for new residential development in the form of Standing Advice provided that the mitigation and avoidance measures are in accordance with the AMS.

In order to meet the requirements of Policy NE1 and the AMS applicants must:-

- (a) secure an allocation of SPA mitigation capacity from either the Council's SANGS schemes, or from another source acceptable to Natural England and to the Council; and
- (b) secure the appropriate SANG and/or SAMM in perpetuity by making the requisite financial contribution(s) by entering into a satisfactory s106 Planning Obligation that requires the payment of the contribution(s) upon the first implementation of the proposed development.

These requirements must be met to the satisfaction of Natural England and Rushmoor Borough Council (the Competent Authority) before the point of decision of the planning application.

In this case the applicants have already procured SANG capacity from Hart District Council's Bramshot Farm Country Park scheme, which is sufficient for the new units proposed. The

attendant SAMM financial contribution can be secured by the applicants entering into a satisfactory s106 Planning Obligation to require payment of £13,139.40 upon the implementation of the proposed development. Accordingly, subject to the necessary s106 being completed, it is considered that the impact upon the SPA will have been satisfactorily addressed.

Site Specific Protected Species

Lynchford Road is designated as a green corridor. An Ecology Enhancement and detailed Planting Plan have been submitted in respect of the application. This proposes the provision of 2 bat boxes, 4 bird boxes, and the timber boundary fences within the development would be supplied with hedgehog holes to facilitate their movement across the site. Six native Field Maple trees are proposed, and existing trees on the site are retained.

The industrial buildings are old and there is woodland habitat close to the site. The Council's Biodiversity Officer has therefore requested a bat roost potential survey from the applicants. This work must be done before planning permission can be granted. Subject to receipt of the report and no objections or further information being required in this respect from the Council's Biodiversity Officer, it is considered that the proposed development would satisfactorily address the requirements of adopted Local Plan Policy NE4.

Conclusions -

It is considered that the proposed development would be acceptable in principle, be acceptable in visual and highways terms, have satisfactory relationships with neighbours, provide an acceptable living environment, provide appropriate biodiversity gain, and have no material impact on trees worthy of retention. Subject to a s106 Planning Obligation the proposals would secure the requisite financial contribution towards Public Open Space provision. Subject to the provision of a contribution towards SAMM fees for the Bramshot Farm Country Park SANG to be secured by the S106 Planning Obligation, the proposal would not have a significant impact upon the nature conservation interest and objectives of the Thames Basin Heaths Special Protection Area. The proposals are thereby considered acceptable having regard to Policies SS3, DE1, DE2, DE3, DE6, DE8, DE10, LN1, LN2, IN2, IN3, NE1, NE2, NE3, NE4 and NE8 of the adopted Rushmoor Local Plan (2014-2031).

Full Recommendation

It is recommended that subject to:-

- (a) The completion of a satisfactory s106 Planning Agreement between the applicants and Rushmoor Borough Council by 31 August 2021 to secure the required SPA SAMM and Public Open Space financial contributions; and to ensure the development is subject to a late-stage economic viability review and to prevent ground rents being made in view of affordability, and
- (b) Receipt of amended surface water drainage plans and details and Hampshire County Council as the Lead Local Flood Authority confirming they have no objections to the proposals as amended in this respect; and
- (c) Receipt of habitat survey and the Council's Ecology & Biodiversity Officer confirming they have no objections to the proposals

the Head of Planning, in consultation with the Chairman, be authorised to **GRANT** planning permission subject to the following conditions and informatives:-

- 1 The development hereby permitted shall be begun before the expiration of one year from the date of this permission.

Reason - As required by Section 91 of the Town and Country Planning Act 1990 as amended by Section 51 of the Planning and Compulsory Purchase Act 2004, to reflect the objectives of the Council's Thames Basin Heaths Special Protection Area Avoidance and Mitigation Strategy as amended August 2019 and to accord with the resolution of Rushmoor's Cabinet on 17 June 2014 in respect of Planning Report no PLN1420.

- 2 The permission hereby granted shall be carried out in accordance with the following approved drawings Drawing numbers:

010 06 Location Plan, 011 06 Existing site plan, 012 06 Demolition and existing elevations, 040 06 Existing site section 1/2 , 041 06 Existing site section 2/2, 100 06 Proposed site Plan, 200 06 GF plan apartment building, 201 06 first floor plan apartment building, 202 06 second floor plan apartment building, 203 06 third floor plan apartment building, 204 06 Roof plan apartment building, 205 06 Ground floor plan town houses, 206 06 First floor plan town houses, 207 06 Second floor plan town houses, 208 06 Roof plan town houses, 209 06 Ground floor plans Terrace 1, 210 06 First floor plans Terrace 1, 211 06 - Second floor plan Terrace 1, 212 06 Roof plan Terrace 1, 213 06 Ground floor plan Terrace 2, 214 06 First floor plan Terrace 2, 215 06 Second floor plan Terrace 2, 216 06 Roof Plan Terrace 2, 300 06 Front elevation apartment building and town house , 301 06 Rear elevation apartment and town houses, 302 06 Front elevation Terrace 1, 303 Rear elevation Terrace 1, 304 06 Side elevation Terrace 1, 305 06 Side elevation Terrace 1, 306 06 Front elevation Terrace 2, 307 06 Rear Elevation Terrace 2, 308 06 Side elevation Terrace 2, 309 08 Side elevation Terrace 2, 310 06 Proposed streetscene, 400 06 Proposed sections 1/2, 401 06 Proposed site sections 2/2, LLD2121-LAN-DWG-200 Landscape Plan and LLD2121-LAN-SCH-001 Planting schedule and LLLD2121-ECO-DWG-001 Ecology enhancement plan.

Reason - To ensure the development is implemented in accordance with the permission granted

- 3 Construction of the following elements of the development hereby approved shall not start until a schedule and/or samples of the materials to be used in them have been submitted to, and approved in writing by, the Local Planning Authority. Those elements of the development shall be carried out using the materials so approved and thereafter retained:

External walls
Roofing materials
Window frames

Reason - To ensure satisfactory external appearance.*

- 4 Surfacing of access driveways, forecourts or other paths and hardsurfaces within the development hereby approved shall not start until a schedule and/or samples of the surfacing materials to be used for them have been submitted to, and approved in writing

by, the Local Planning Authority. Those elements of the development shall be carried out using the materials so approved and thereafter retained

Reason - To ensure satisfactory external appearance and drainage arrangements.*

- 5 No works of construction of the buildings hereby approved shall start until plans showing details of the existing and proposed ground levels, proposed finished floor levels, levels of any paths, drives, garages and parking areas and the height of any retaining walls within the application site have been submitted to and approved in writing by the Local Planning Authority. The development shall be completed and retained in accordance with the details so approved.

Reason - To ensure a satisfactory form of development in relation to neighbouring property.*

- 6 Prior to occupation or use of the development hereby approved, screen and boundary walls, fences, hedges or other means of enclosure shall be installed in accordance with details to be first have been submitted to and approved in writing by the Local Planning Authority. The development boundary treatment shall be completed and retained in accordance with the details so approved.

Reason - To safeguard the amenities of neighbouring property.*

- 7 The development hereby approved shall not be occupied until measures to protect the apartment and town house buildings facing Lynchford Road (A3011) from traffic or other external noise have been implemented in accordance with a scheme to include, for example, double glazing and/or recommendations in the submitted acoustic report, which has been first submitted to and approved in writing by the Local Planning Authority.

Reason - To protect the amenity of the occupiers of the development.*

- 8 No development shall start on site until a construction method statement has been submitted to and approved in writing by the Planning Authority, which shall include:

- i) a programme of and phasing of demolition (if any) and construction work;
- ii) The provision of long-term facilities for contractor parking
- (iii) The arrangements for deliveries associated with all construction works
- (iv) Methods and phasing of construction works
- (v) Access and egress for plant and machinery
- (vi) Protection of pedestrian routes during construction
- (vii) Location of temporary site buildings, compounds, construction material and plant storage areas.
- (viii) Measures to be employed to minimise noise, vibration and dust from the works

Demolition and construction work shall only take place in accordance with the approved method statement.

Reason - in the interests of amenity and highway safety.*

- 9 No works pursuant to this permission shall commence until there has been submitted to and approved in writing by the Local Planning Authority: -

- a detailed scheme for remedial works and measures which shall be undertaken to avoid risk from contaminants/or gas identified by the site investigation when the site is developed and proposals for future maintenance and monitoring, along with verification methodology. Such scheme to include nomination of a competent person to oversee and implement the works. Following completion of the measures identified in the approved scheme, a verification report that demonstrates the effectiveness of the remediation shall be submitted for approval in writing by the Local Planning Authority.

Reason - To ensure that the site is safe for the development permitted and in the interests of amenity and pollution prevention.*

- 10 In the event that unforeseen ground conditions or materials which suggest potential or actual contamination are revealed at any time during implementation of the approved development it must be reported, in writing, immediately to the Local Planning Authority. A competent person must undertake a risk assessment and assess the level and extent of the problem and, where necessary, prepare a report identifying remedial action which shall be submitted to and approved in writing by the Local Planning Authority before the measures are implemented.

Following completion of measures identified in the approved remediation scheme a verification report must be prepared and is subject to approval in writing by the Local Planning Authority.

Reason - To ensure that the site is safe for the development permitted and in the interests of amenity and pollution prevention

- 11 Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) (England) Order 2015 (or any Order revoking and re-enacting that Order), no development falling within Classes A, B or D of Part 1; of Schedule 2 shall be carried out without the prior permission of the Local Planning Authority.

Reason - To protect the amenities of neighbouring residential properties and to prevent adverse impact on traffic and parking conditions in the vicinity.

- 12 Notwithstanding the provisions of the Town and Country Planning (General Permitted Development Order) 2015, (or any Order revoking and re-enacting that Order), no additional windows, doors or openings of any kind shall be inserted in the side elevations of Terrace 1, Terrace 2 or the Lynchford Road frontage town houses of the development hereby permitted.

Reason - To protect the amenities of neighbouring residential properties.

- 13 Notwithstanding the details shown on the submitted plans, the third storey rear (east) facing windows of Houses 3-7 of Terrace 1, and the third storey front (north) facing windows of Houses 8-10 on Terrace 2 of the development hereby approved shall be fitted with obscure glass and fixed closed with the exception of:-

- High level windows with a cill height not less than 1.7m above the internal floor level of the room.

- Opening top light windows forming the upper part of a larger window where the horizontal division is no less than 1.7m above the internal floor level of the room, and where the section below the division is obscurely glazed and fixed closed.

Reason - To prevent overlooking and loss of privacy to neighbouring residential properties.

- 14 Prior to occupation of any part of the development hereby approved, details of the refuse bin storage areas (with specific reference to method of refuse collection from the terraced houses on the site) shall be submitted to and approved in writing by the Local Planning Authority. The development shall be carried out and retained in accordance with the details so approved.

Reason - To safeguard the amenities of the area.*

- 15 The development hereby approved shall not be occupied until the off-street parking facilities shown on the approved plans have been completed and made ready for use by the occupiers. The parking facilities shall be thereafter retained solely for parking purposes (to be used by the occupiers of, and visitors to, the development). For the avoidance of doubt the parking spaces shall not be used for the parking/storage of boats, caravans or trailers.

Reason - To ensure the provision and availability of adequate off-street parking.

- 16 Prior to occupation of any part of the apartment building hereby approved, details of the cycle store shall be submitted to and approved in writing by the Local Planning Authority. The development shall be carried out and retained in accordance with the details so approved.

Reason - To ensure the provision and availability of adequate off-street cycle parking in accordance with the adopted Car and Cycle Parking Standards SPD.

- 17 The proposed development hereby approved shall be undertaken strictly in accordance with the Arboricultural Report prepared by GHA Trees dated 13 October 2020 and Tree Protection Plan Rev B October 2020.

Reason - To ensure the amenity value of the tree(s) and shrubs in the vicinity of the development is maintained.

- 18 Construction or demolition work of any sort within the area covered by the application shall only take place between the hours of 0800-1800 on Monday to Fridays and 0800-1300 on Saturdays. No work at all shall take place on Sundays and Bank or Statutory Holidays.

Reason - To protect the amenities of neighbouring residential properties and to prevent adverse impact on traffic and parking conditions in the vicinity.

- 19 All planting, seeding or turfing comprised in the approved details of landscaping shall be carried out in the first planting and seeding season following the occupation of the buildings or the practical completion of the development, whichever is the sooner and shall be so retained.

Reason -To ensure the development makes an adequate contribution to visual amenity.

- 20 Notwithstanding any details submitted in the application, no dwelling shall be occupied until details of the telecommunications provision and any aerial or satellite facilities for the development, including high-speed broadband, have been submitted to and approved by the Local Planning Authority. Details shall demonstrate the impact on neighbouring and visual amenity has been minimised. The approved system shall then be installed and made operational before the relevant dwellings are occupied. *

Reason - To ensure satisfactory external appearance and provide for appropriate telecommunications provision.*

INFORMATIVES

- 1 INFORMATIVE – The Local Planning Authority’s commitment to working with the applicants in a positive and proactive way is demonstrated by its offer of pre-application discussion to all, and assistance in the validation and determination of applications through the provision of clear guidance regarding necessary supporting information or amendments both before and after submission, in line with the National Planning Policy Framework.

- 2 INFORMATIVE - REASONS FOR APPROVAL- The Council has granted permission because:-

It is considered that the proposed development would be acceptable in principle, be acceptable in visual and highways terms, have satisfactory relationships with neighbours, provide an acceptable living environment, provide appropriate biodiversity gain, and have no material impact on trees worthy of retention. Subject to a s106 Planning Obligation the proposals would secure the requisite financial contribution towards Public Open Space provision. Subject to the provision of a contribution towards SAMM fees for the Bramshot Farm Country Park SANG to be secured by the S106 Planning Obligation, the proposal would not have a significant impact upon the nature conservation interest and objectives of the Thames Basin Heaths Special Protection Area. The proposals are thereby considered acceptable having regard to Policies SS3, DE1, DE2, DE3, DE6, DE8, DE10, LN1, LN2, IN2, IN3, NE1, NE2, NE3, NE4 and NE8 of the adopted Rushmoor Local Plan (2014-2031).

It is therefore considered that subject to compliance with the attached conditions, and taking into account all other material planning considerations, including the provisions of the development plan, the proposal would be acceptable. This also includes a consideration of whether the decision to grant permission is compatible with the Human Rights Act 1998.

- 3 INFORMATIVE - This permission is subject to a planning obligation under Section 106 of the Town and Country Planning Act 1990 (as amended).
- 4 INFORMATIVE - Your attention is specifically drawn to the conditions marked *. These condition(s) require either the submission and approval of details, information, drawings etc.by the Local Planning Authority BEFORE WORKS START ON SITE, BEFORE SPECIFIC ELEMENTS OF THE PROPOSAL ARE CARRIED OUT or, require works to be carried out BEFORE COMMENCEMENT OF USE OR FIRST OCCUPATION OF ANY BUILDING.

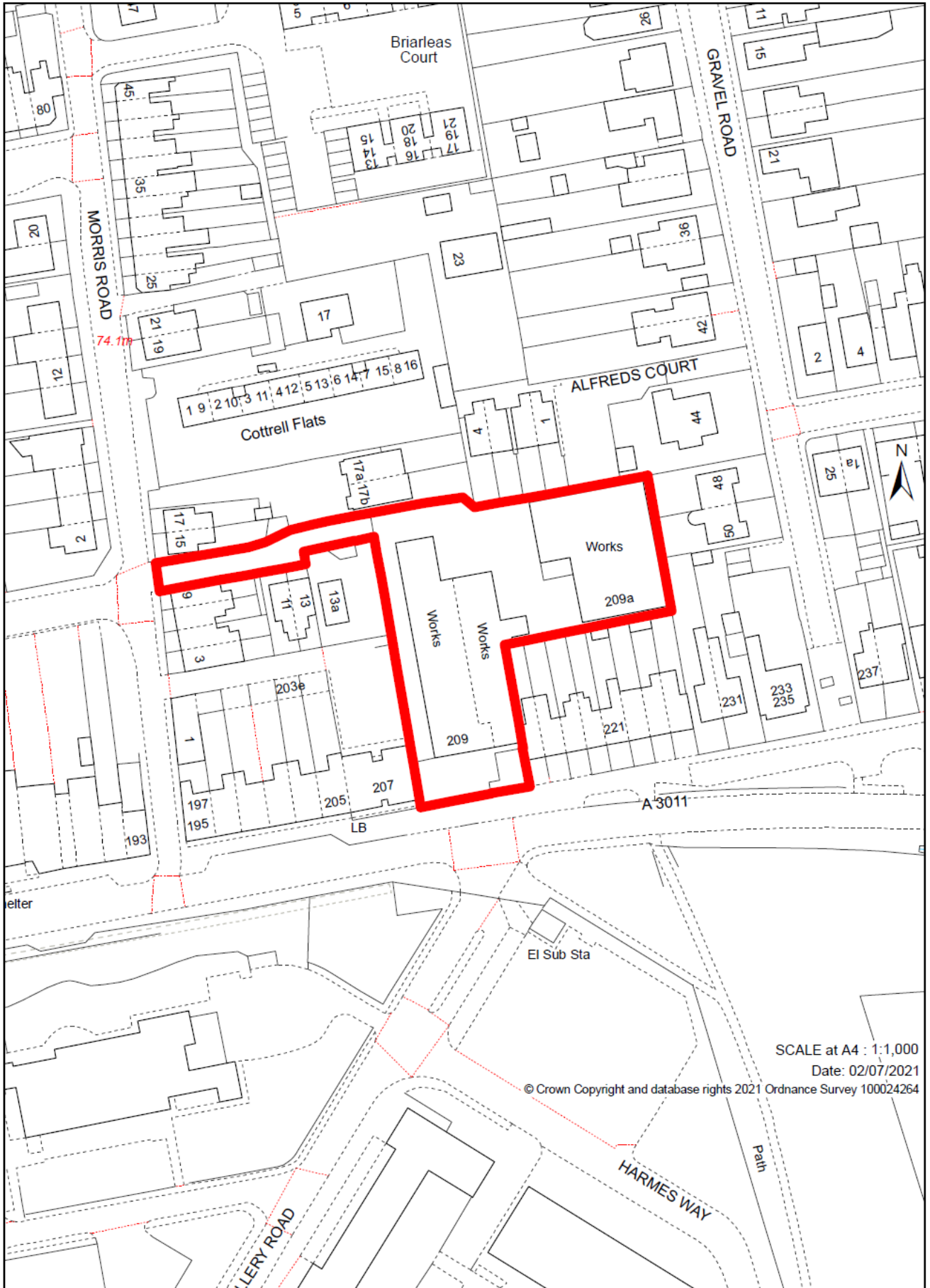
Development started, carried out or occupied without first meeting the requirements of these conditions is effectively development carried out WITHOUT PLANNING PERMISSION.

The Council will consider the expediency of taking enforcement action against any such development and may refer to any such breach of planning control when responding to local searches. Submissions seeking to discharge conditions or requests for confirmation that conditions have been complied with must be accompanied by the appropriate fee.

- 5 INFORMATIVE - The planning permission hereby granted does not authorise the applicant, or his agents, to construct a new/altered access to, or other work within, the public highway. A separate consent for works within the highway must first be obtained from the highway authority who may be contacted at the following address:- Hampshire County Council Highways Sub-Unit, M3 Motorway Compound, Hook, Hampshire, RG27 9AA.
- 6 INFORMATIVE - The applicant is advised to contact the Recycling and Waste Management section at Rushmoor Borough Council on 01252 398164 with regard to providing bins for refuse and recycling. The bins should be:
 - 1) provided prior to the occupation of the properties;
 - 2) compatible with the Council's collection vehicles, colour scheme and specifications;
 - 3) appropriate for the number of occupants they serve;
 - 4) fit into the development's bin storage facilities.
- 7 INFORMATIVE - The applicant is advised that there may be a need to comply with the requirements of the Party Wall (etc.) Act 1996 before starting works on site. The Party Wall (etc.) Act is not enforced or administered by the Council but further information can be found on the Planning Portal website <https://www.gov.uk/guidance/party-wall-etc-act-1996-guidance> and you are able to download The party Wall Act 1996 explanatory booklet.
- 8 INFORMATIVE - It is a legal requirement to notify Thames Water of any proposed connection to a public sewer. In many parts of its sewerage area, Thames Water provides separate public sewers for foul water and surface water. Within these areas a dwelling should have separate connections: a) to the public foul sewer to carry waste from toilets, sinks and washing machines, etc, and b) to public surface water sewer for rainwater from roofs and surface drains. Mis-connections can have serious effects: i) If a foul sewage outlet is connected to a public surface water sewer this may result in pollution of a watercourse. ii) If a surface water outlet is connected to a public foul sewer, when a separate surface water system or soakaway exists, this may cause overloading of the public foul sewer at times of heavy rain. This can lead to sewer flooding of properties within the locality. In both instances it is an offence to make the wrong connection. Thames Water can help identify the location of the nearest appropriate public sewer and can be contacted on 0800 316 9800.
- 9 INFORMATIVE - A Groundwater risk Management Permit from Thames Water will be required for discharging groundwater into a public sewer. Any discharge made without a permit is deemed illegal and may result in prosecution under the provisions of the

Water Industry Act 1991. Application forms should be completed online via www.thameswater.co.uk. Please refer to the Wholesale; Business customers; Groundwater discharges section.

- 10 INFORMATIVE - The proposed development is located within 15m of Thames Water underground assets and as such, the development could cause the assets to fail if appropriate measures are not taken. Please read our guide 'working near our assets' to ensure your workings are in line with the necessary processes you need to follow if you're considering working above or near our pipes or other structures. If you require further information please contact developer.services@thameswater.co.uk or 0800 009 3921 (Monday to Friday 8am to 5pm).
- 11 INFORMATIVE - Measures should be taken to prevent mud from vehicles leaving the site during construction works being deposited on the public highway throughout the construction period.
- 12 INFORMATIVE - No materials produced as a result of site preparation, clearance, or development should be burnt on site. Please contact the Head of Operational Services for advice.



SCALE at A4 : 1:1,000

Date: 02/07/2021

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Project
Lynchford Road

Project No
312

Drawing Title
Proposed Site Plan



Site Plan



Front elevation – Lynchford Road (A & B)



Front elevation – Terrace 1 (C)



Front elevation – Terrace 2 (D) with rear of (A) & (B) behind



Side elevation – Terrace 1 (C) (looking south towards rear of Lynchford Rd properties)

Section D

The following applications are reported for INFORMATION purposes only. They relate to applications, prior approvals, notifications, and consultations that have already been determined by the Head of Economy, Planning and Strategic Housing and where necessary, in consultation with the Chairman, in accordance with the Council's adopted Scheme of Delegation.

If Members wish to have more details about the decision on any of the applications on this list please contact David Stevens (01252 398738) or John W Thorne (01252 398791) in advance of the Committee meeting.

Application No	20/00573/CONDPP	Ward: Wellington
Applicant:	Mr Jarrod Spencer	
Decision:	Permission Granted	
Decision Date:	29 June 2021	
Proposal:	Submission of details pursuant to condition 8 (Plant and Machinery Noise Mitigation Scheme) of reserved matters application 15/00897/REMPP dated 18/10/2016	
Address	Zone C - Cambridge Military Hospital Aldershot Urban Extension Alisons Road Aldershot Hampshire	

Application No	20/00574/CONDPP	Ward: Wellington
Applicant:	Jarrod Spencer	
Decision:	Permission Granted	
Decision Date:	29 June 2021	
Proposal:	Details part pursuant to condition 21 (Commercial Plant and Machinery) attached to Outline Planning Permission 12/00958/OUT dated 10th March 2014 in respect of Cambridge Military Hospital - Development Zone C.	
Address	Zone C - Cambridge Military Hospital Aldershot Urban Extension Alisons Road Aldershot Hampshire	

Application No 20/00802/COND Ward: Wellington

Applicant: Mr Jarrod Spencer

Decision: **Permission Granted**

Decision Date: 29 June 2021

Proposal: Submission of details pursuant to condition 2 (plant and machinery) of listed building consent condition approval 19/00903/COND dated 24/07/2020

Address **Zone C - Cambridge Military Hospital Aldershot Urban Extension
Alisons Road Aldershot Hampshire**

Application No 21/00104/FULPP Ward: St Mark's

Applicant: Mr And Mrs S Nolan

Decision: **Permission Granted**

Decision Date: 15 June 2021

Proposal: Two storey rear extension following removal of conservatory with loft conversion with side dormer

Address **Douglas House 23 Lynchford Road Farnborough Hampshire GU14
6AR**

Application No 21/00154/COND Ward: Fernhill

Applicant: Mr Chris Foster

Decision: **Conditions details approved**

Decision Date: 20 May 2021

Proposal: Submission of details pursuant to Condition Nos.3 (Sustainable Drainage System) and 4 (Materials) and 5 (Landscaping and Planting scheme) of planning permission 20/00653/FULPP dated 27 November 2020

Address **1 Cold Harbour Lane Farnborough Hampshire GU14 9AH**

Application No 21/00169/FULPP Ward: St Mark's

Applicant: Mr Lee Swain

Decision: **Permission Granted**

Decision Date: 11 June 2021

Proposal: Erection of a foul sewerage pumping station including piping, lighting column, boundary fence, junction box, control kiosk, chemical dosing unit, vent pipe and parking space.

Address **Pumping Station Dukes Park Aldershot Hampshire**

Application No 21/00172/CONDPP Ward: Wellington

Applicant: Grainger (Aldershot) Ltd and Secretary of

Decision: **Permission Granted**

Decision Date: 17 June 2021

Proposal: Details pursuant to condition 12 (trees) attached to Outline Planning Permission 12/00958/OUT dated 10th March 2014 in respect of works (crown lift) to trees along southern side of Knollys Road.

Address **Zone F - Knollys Aldershot Urban Extension Alisons Road Aldershot Hampshire**

Application No 21/00173/CONDPP Ward: Wellington

Applicant: Grainger (Aldershot) Ltd And Secretary Of

Decision: **Permission Granted**

Decision Date: 16 June 2021

Proposal: Details pursuant to condition 12 (trees) attached to Outline Planning Permission 12/00958/OUT dated 10th March 2014 in respect of works to various trees to the south of Cambridge Military Hospital.

Address **Cambridge Military Hospital Hospital Road Wellesley Aldershot Hampshire GU11 2AN**

Application No 21/00177/FUL Ward: Cherrywood
Applicant: Mr James Flynn
Decision: **Permission Granted**
Decision Date: 01 June 2021
Proposal: Erection of part first floor and part two storey rear extension
Address **12 Sherwin Crescent Farnborough Hampshire GU14 8DN**

Application No 21/00182/FULPP Ward: West Heath
Applicant: Mr & Mrs Wood
Decision: **Permission Granted**
Decision Date: 14 June 2021
Proposal: Demolition of garage and shed and erection of a two storey side/rear extension, porch to front and outbuilding to the rear
Address **35 Giffard Drive Farnborough Hampshire GU14 8PU**

Application No 21/00191/TPOPP Ward: Knellwood
Applicant: Mr David Jones
Decision: **Permission Refused**
Decision Date: 18 May 2021
Proposal: Remove one Black Pine (part of group G12 of TPO 431A, T1 on submitted plan) and replace with Scots Pine
Address **25 Ashley Road Farnborough Hampshire GU14 7EZ**

Application No 21/00193/FULPP Ward: Fernhill
Applicant: Mr Gurung
Decision: **Permission Granted**
Decision Date: 03 June 2021
Proposal: Erection of single storey rear extension and conversion of existing garage to habitable accommodation with replacement roof over
Address **303 Fernhill Road Farnborough Hampshire GU14 9EW**

Application No 21/00196/COND Ward: Empress
Applicant: Pinehurst Investments Ltd.
Decision: **Conditions details approved**
Decision Date: 10 June 2021
Proposal: Submission of details pursuant to Condition No.3 (External Materials Details) of planning permission 18/00466/FULPP granted by appeal decision dated 3rd October 2019
Address **117 Farnborough Road Farnborough Hampshire GU14 7JG**

Application No 21/00203/FULPP Ward: Knellwood
Applicant: MR NICK WHITE
Decision: **Permission Granted**
Decision Date: 18 May 2021
Proposal: Erection of a two storey side and single storey front extension
Address **62 Abbey Way Farnborough Hampshire GU14 7DF**

Application No 21/00205/FULPP Ward: Fernhill
Applicant: Ms D Bainbridge
Decision: **Permission Granted**
Decision Date: 04 June 2021
Proposal: Proposed erection of two-storey side extension following the demolition of the existing garage
Address **17 Fernhill Close Blackwater Camberley Hampshire GU17 9HD**

Application No 21/00208/FUL Ward: St Mark's
Applicant: Mr Chris Arden-Scott
Decision: **Permission Granted**
Decision Date: 17 May 2021
Proposal: Erection of a single storey rear extension
Address **22 Netley Street Farnborough Hampshire GU14 6AQ**

Application No 21/00212/FULPP Ward: Empress

Applicant: Network Rail Infrastructure Limited

Decision: **Permission Granted**

Decision Date: 21 May 2021

Proposal: Change of use of land from residential (Use Class C3) to operational railway use (Sui Generis), demolition of existing garage and erection of a single storey modular building

Address **37 Farnborough Street Farnborough Hampshire GU14 8AQ**

Application No 21/00214/REXPD Ward: North Town

Applicant: Mr Namistiuc

Decision: **Prior approval is NOT required**

Decision Date: 10 June 2021

Proposal: Erection of a single storey rear extension measuring 6m from the original dwelling house, 3m to the eaves and 3m in overall height

Address **43 Haig Road Aldershot Hampshire GU12 4PR**

Application No 21/00219/EDCPP Ward: Wellington

Applicant: London & Cambridge Properties Limited

Decision: **Development is Lawful**

Decision Date: 18 May 2021

Proposal: Application for a Certificate of Existing Lawful Development : works undertaken at the property comprise the lawful commencement of development approved by Planning Permission 19/00870/COU dated 4 March 2020

Address **37 - 39 Union Street Aldershot Hampshire**

Application No 21/00222/FULPP Ward: Rowhill

Applicant: Ms Deborah Ehlen

Decision: **Permission Granted**

Decision Date: 01 June 2021

Proposal: Demolition of existing garage and erection of a larger garage

Address **Little Haven 2A Ayling Hill Aldershot Hampshire GU11 3LL**

Application No 21/00223/FULPP Ward: Knellwood

Applicant: Mr Andrew Grimes

Decision: **Permission Granted**

Decision Date: 04 June 2021

Proposal: Retention of detached garage as built with 50-degree roof pitch, pedestrian door and brick wall in place of right-hand garage door, oblong window in north gable and a pair of high-level windows in west elevation; erection of orangery extension to north side; construction of basement level beneath right-hand garage to provide laundry and store rooms with internal and external staircase accesses; and variation of Condition No.12 of planning permission 16/00021/FULPP to allow conversion of extended right-hand garage space combined with whole garage roof room to flexible use as studio/occasional home office/gym all incidental to the enjoyment of the main house

Address **1 Cambridge Road West Farnborough Hampshire GU14 6RW**

Application No 21/00227/FULPP Ward: Rowhill

Applicant: Mr David Hall

Decision: **Permission Granted**

Decision Date: 21 May 2021

Proposal: Erection of a single storey rear extension

Address **3 Innisfail Gardens Aldershot Hampshire GU11 3XG**

Application No 21/00230/TPOPP Ward: St John's

Applicant: Mr Mileta Milanovic

Decision: **Permission Granted**

Decision Date: 20 May 2021

Proposal: One Scots Pine (T10 of TPO 352A) reduce the lower canopy extent to the house aspect by no more than 3 metres and clean the crown of dead and broken branches.

Address **19 Marlborough View Farnborough Hampshire GU14 9YA**

Application No 21/00236/FULPP Ward: Fernhill
Applicant: Mr And Mrs Graham And Sharon Price
Decision: **Permission Granted**
Decision Date: 19 May 2021
Proposal: Erection of a two-storey side extension
Address **32 Ashbury Drive Blackwater Camberley Hampshire GU17 9HH**

Application No 21/00237/FULPP Ward: Fernhill
Applicant: Mr C Cooles
Decision: **Permission Granted**
Decision Date: 19 May 2021
Proposal: Erection of part single storey and part two storey rear extension following demolition of existing conservatory
Address **21 Shepherds Walk Farnborough Hampshire GU14 9EZ**

Application No 21/00238/EDC Ward: Wellington
Applicant: Lisa Dougherty
Decision: **Development is Lawful**
Decision Date: 21 May 2021
Proposal: CERTIFICATE OF LAWFULNESS FOR AN EXISTING USE : Use of property for storage purposes (Use Class B8) in breach of Condition No.4 (provision and retention of parking spaces for flats at No.57 Victoria Road) of planning permission 06/00705/COU dated 1 February 2007
Address **57 Victoria Road Aldershot Hampshire GU11 1SJ**

Application No 21/00239/FULPP Ward: Aldershot Park
Applicant: Mr And Mrs Sharma
Decision: **Permission Granted**
Decision Date: 26 May 2021
Proposal: Erection of a front porch and a single storey rear extension
Address **47 Elston Road Aldershot Hampshire GU12 4HZ**

Application No 21/00244/FULPP Ward: Knellwood
Applicant: Mr And Mrs Giles
Decision: **Permission Granted**
Decision Date: 02 June 2021
Proposal: Two storey side extension
Address **148 Sycamore Road Farnborough Hampshire GU14 6RF**

Application No 21/00245/PDCPP Ward: North Town
Applicant: Mihail Namistiuc
Decision: **Development is Lawful**
Decision Date: 19 May 2021
Proposal: Lawful Development Certificate for proposed development: Formation of hip to gable roof extension and dormer window to rear to facilitate a loft conversion and insertion of roof light within the front facing roof slope
Address **71 Roberts Road Aldershot Hampshire GU12 4RB**

Application No 21/00246/SCREEN Ward: Wellington
Applicant: South East Water
Decision: **Environmental Assessment Required**
Decision Date: 07 June 2021
Proposal: SCREENING OPINION REQUEST: 2.6km long 400mm diameter underground potable water pipeline which starts at a connection onto existing water infrastructure at the junction of Sunny Hill Road and Farnborough Road, Aldershot, crosses in a general north-east to south-west alignment through the Bourley and Long Valley Site of Special Scientific Interest (also part of the Thames Basin Heaths Special Protection Area), before exiting onto Sandy Hill Road in Upper Hale, Surrey and continuing along the alignment of the road in a westerly direction to the junction with Upper Hale Road where it terminates at a connection to the existing water infrastructure (spanning Rushmoor and Waverley Borough Council areas).
Address **Proposed South East Water Pipeline Farnborough Road Aldershot Hampshire**

Application No 21/00252/FULPP Ward: Manor Park
Applicant: Mr Abdul Wahab Popalzai
Decision: **Permission Granted**
Decision Date: 09 June 2021
Proposal: Installation of new external door and extraction flue projecting above roof parapet level to Birchett Road elevation to facilitate provision of bakery ancillary to existing shop use
Address **11 - 13 Birchett Road Aldershot Hampshire GU11 1LS**

Application No 21/00253/FULPP Ward: St John's
Applicant: Mr Anthony Bugh
Decision: **Permission Granted**
Decision Date: 01 June 2021
Proposal: Erection of a single storey rear extension following removal of existing conservatory
Address **16 Chiltern Close Farnborough Hampshire GU14 9SF**

Application No 21/00254/FULPP Ward: Empress
Applicant: Mr And Mrs Long
Decision: **Permission Granted**
Decision Date: 03 June 2021
Proposal: Erection of a part two storey side extension, part first floor rear extension and dormer window to rear
Address **12 Chapel Street Farnborough Hampshire GU14 8AH**

Application No 21/00257/FULPP Ward: Fernhill
Applicant: Mr David Adams
Decision: **Permission Granted**
Decision Date: 28 June 2021
Proposal: Erection of a single storey extension under the existing porch canopy and formation of a pitched roof to front elevation
Address **39 Sidlaws Road Farnborough Hampshire GU14 9JN**

Application No 21/00258/FUL Ward: Rowhill

Applicant: Mr Brian Spires

Decision: **Permission Granted**

Decision Date: 29 June 2021

Proposal: Erection of a two storey side and rear extension

Address **42 Sandford Road Aldershot Hampshire GU11 3AF**

Application No 21/00260/FUL Ward: Fernhill

Applicant: Krzysztof Stobieniecki

Decision: **Permission Granted**

Decision Date: 01 June 2021

Proposal: Demolition of existing detached garage and erection of outbuilding to house personal gym

Address **24 St Davids Close Farnborough Hampshire GU14 9AQ**

Application No 21/00266/TPO Ward: Knellwood

Applicant: Mr Kumbamadur Khan

Decision: **Permission Granted**

Decision Date: 20 May 2021

Proposal: Oak Tree - Reduce sublaterals by no more than 3meters, to balance the crown (T65 of TPO439A)

Address **16 Albert Road Farnborough Hampshire GU14 6SH**

Application No 21/00267/TPO Ward: Empress

Applicant: Mr Ray Smith

Decision: **Permission Granted**

Decision Date: 26 May 2021

Proposal: Remove four Silver Birches (part of group G21 of TPO 354A) and the bough of one Sweet Chestnut as per submitted application form

Address **31 Prospect Avenue Farnborough Hampshire GU14 8JT**

Application No 21/00268/TPO Ward: Empress
Applicant: Mrs Rebecca Snelling
Decision: **Permission Granted**
Decision Date: 26 May 2021
Proposal: Remove two Silver Birch trees (part of group G20 of TPO 354A) as per submitted application form
Address **Broxwood 33 Prospect Avenue Farnborough Hampshire GU14 8JT**

Application No 21/00269/FULPP Ward: North Town
Applicant: Mr Ram Dhakal
Decision: **Permission Granted**
Decision Date: 02 June 2021
Proposal: Erection of a single storey side extension, erection of single storey front extension and erection of 1-metre high boundary wall
Address **27 Fawn Drive Aldershot Hampshire GU12 4FW**

Application No 21/00270/TELEPP Ward: Cove And Southwood
Applicant: Hutchison 3G UK Ltd
Decision: **Prior Approval Required and Refused**
Decision Date: 24 June 2021
Proposal: Erection of 20m high telecommunications mast
Address **Proposed Telecommunications Mast To The Front Of 55 Cove Road Farnborough Hampshire**

Application No 21/00272/FULPP Ward: Cherrywood
Applicant: Mr Graham Snook
Decision: **Permission Granted**
Decision Date: 03 June 2021
Proposal: Erection of a single storey front and side extension
Address **7 Sine Close Farnborough Hampshire GU14 8HG**

Application No 21/00273/FULPP Ward: Knellwood
Applicant: Mr S Jones
Decision: **Permission Granted**
Decision Date: 10 June 2021
Proposal: Erection of a single storey side and rear extensions and dropped kerb to front of property
Address **Sycamore Farm 1 Sycamore Road Farnborough Hampshire GU14 6PE**

Application No 21/00274/TPOPP Ward: Cove And Southwood
Applicant: Mr Michael McEvoy
Decision: **Permission Granted**
Decision Date: 26 May 2021
Proposal: One Oak (T22 of TPO 417) reduce crown by no more than 3 metres and re-shape
Address **8 Maskell Way Farnborough Hampshire GU14 0PU**

Application No 21/00275/FULPP Ward: Knellwood
Applicant: Mr & Mrs Newton
Decision: **Permission Granted**
Decision Date: 04 June 2021
Proposal: Erection of first floor side and rear extensions
Address **28 The Grove Farnborough Hampshire GU14 6QS**

Application No 21/00276/FULPP Ward: Fernhill
Applicant: Mr Cem Kalen
Decision: **Permission Refused**
Decision Date: 02 June 2021
Proposal: Erection of a one bed dwelling with associated parking
Address **81 Blackthorn Crescent Farnborough Hampshire GU14 9AL**

Application No 21/00278/TPO Ward: Knellwood
Applicant: Mrs Helen Jones
Decision: **Permission Granted**
Decision Date: 28 May 2021
Proposal: Oak Tree - Crown reduction of no more than 5m, to reduce the risk of branch failure (T4 of TPO432A)
Address **67 Avenue Road Farnborough Hampshire GU14 7BH**

Application No 21/00279/FULPP Ward: Knellwood
Applicant: Mr Colin Acheson
Decision: **Permission Granted**
Decision Date: 07 June 2021
Proposal: Three storey front extension on 'Cedar Wing' to provide meeting lounges
Address **Knellwood 83 Canterbury Road Farnborough Hampshire GU14 6QN**

Application No 21/00280/FULPP Ward: St Mark's
Applicant: Mr and Mrs Ben and Lisa Brown
Decision: **Permission Granted**
Decision Date: 08 July 2021
Proposal: Single storey rear and side extension
Address **249 Lynchford Road Farnborough Hampshire GU14 6HH**

Application No 21/00284/FULPP Ward: Empress
Applicant: Mr & Mrs G & S Warrell-Phillips
Decision: **Permission Granted**
Decision Date: 25 June 2021
Proposal: Demolition of existing single storey rear extension and garage and erection of single a storey rear extension
Address **57 Highgate Lane Farnborough Hampshire GU14 8AA**

Application No 21/00287/FULPP Ward: Cove And Southwood
Applicant: Mr Roger Farmiloe
Decision: **Permission Granted**
Decision Date: 10 June 2021
Proposal: Erection of single storey store building following demolition of existing
Address **Cove Cricket Club Grasmere Road Farnborough Hampshire GU14 0LE**

Application No 21/00288/CONDPP Ward: Wellington
Applicant: Other Grainger (Aldershot) Ltd and Secret
Decision: **Permission Granted**
Decision Date: 16 June 2021
Proposal: Details pursuant to condition 12 (trees) attached to Outline Planning Permission 12/00958/OUT dated 10th March 2014 in respect of works to trees along southern side of Hope Grants Road.
Address **Street Record Hope Grant's Road Wellesley Aldershot Hampshire**

Application No 21/00289/FULPP Ward: Cove And Southwood
Applicant: Mr & Mrs Simons
Decision: **Permission Granted**
Decision Date: 03 June 2021
Proposal: Erection of single storey rear extension following removal of existing conservatory
Address **10 McNaughton Close Farnborough Hampshire GU14 0PX**

Application No 21/00290/FUL Ward: Empress
Applicant: Mr Paul Cousins
Decision: **Permission Granted**
Decision Date: 09 June 2021
Proposal: Erection of a detached garage to rear
Address **10 Napoleon Avenue Farnborough Hampshire GU14 8LY**

Application No 21/00291/FUL Ward: Cove And Southwood
Applicant: Mr Silvester
Decision: **Permission Granted**
Decision Date: 26 May 2021
Proposal: Retention of fence
Address **36 Long Beech Drive Farnborough Hampshire GU14 0PR**

Application No 21/00292/FUL Ward: Aldershot Park
Applicant: Mr David Fryer
Decision: **Permission Granted**
Decision Date: 08 June 2021
Proposal: Erection of two storey side extension
Address **16 Elston Place Aldershot Hampshire GU12 4HY**

Application No 21/00293/FUL Ward: Cherrywood
Applicant: Mr R Mina
Decision: **Permission Granted**
Decision Date: 28 May 2021
Proposal: Retention of single storey rear extension measuring 2.56m in length, 2.4m to the eaves and 3.8m in overall height and retention of canopy
Address **80 Holywell Close Farnborough Hampshire GU14 8TT**

Application No 21/00295/ADVPP Ward: St Mark's
Applicant: Voyager Aerospace Centre C/O Concept
Decision: **Permission Granted**
Decision Date: 09 June 2021
Proposal: Erection of 1 freestanding non illuminated single sided totem sign
Address **Voyager Park Dingley Way Farnborough Hampshire GU14 6FF**

Application No 21/00298/FULPP Ward: Rowhill

Applicant: Mr Tanyimboh & Ms Alobwede

Decision: **Permission Granted**

Decision Date: 07 June 2021

Proposal: Erection of a two storey side and single storey rear extension

Address **49 Rowhill Avenue Aldershot Hampshire GU11 3LP**

Application No 21/00299/FULPP Ward: Aldershot Park

Applicant: Mr Boast

Decision: **Permission Granted**

Decision Date: 07 June 2021

Proposal: Formation of decking to rear

Address **14 Morland Road Aldershot Hampshire GU11 3SB**

Application No 21/00300/PDC Ward: Knellwood

Applicant: Trevor Coles

Decision: **Development is Lawful**

Decision Date: 08 July 2021

Proposal: Lawful Development Certificate for proposed development: Formation of a dormer window and two roof lights

Address **Jacinth 22 Manor Road Farnborough Hampshire GU14 7EU**

Application No 21/00302/TELEPP Ward: Cherrywood

Applicant: Hutchison UK Ltd

Decision: **Prior Approval Required and Refused**

Decision Date: 09 June 2021

Proposal: Proposed 20m Phase 8 Monopole C/W wrapround Cabinet at base and associated ancillary works

Address **Proposed Telecommunication Mast Adjacent To 68 To 70 Hawley Lane Farnborough Hampshire**

Application No 21/00303/REXPD Ward: Manor Park
Applicant: Mr Davies
Decision: **Prior approval is NOT required**
Decision Date: 26 May 2021
Proposal: Erection of a single storey rear extension measuring 3.94m from the original rear wall, 2.67m to the eaves and 4m in overall height
Address **61 Coronation Road Aldershot Hampshire GU11 3QA**

Application No 21/00304/FULPP Ward: Empress
Applicant: Mr And Mrs Knoll
Decision: **Permission Granted**
Decision Date: 17 May 2021
Proposal: Erection of a single storey side extension following removal of existing conservatory
Address **102 Pierrefondes Avenue Farnborough Hampshire GU14 8NZ**

Application No 21/00306/PDCPP Ward: Empress
Applicant: MR Matt Chapman
Decision: **Development is Lawful**
Decision Date: 11 June 2021
Proposal: Certificate of Lawfulness for Proposed Development: Erection of a single storey side extension
Address **16 Empress Avenue Farnborough Hampshire GU14 8LX**

Application No 21/00308/FULPP Ward: West Heath
Applicant: Mr Siva Voleti
Decision: **Permission Granted**
Decision Date: 17 June 2021
Proposal: Erection of a single storey rear extension following the removal of existing conservatory
Address **18 Clouston Road Farnborough Hampshire GU14 8PN**

Application No 21/00309/FULPP Ward: Knellwood
Applicant: Jean White
Decision: **Permission Granted**
Decision Date: 14 June 2021
Proposal: Erection of a rear extension, raise the ridge height by 1.7 metres to allow rooms in roof and alterations to ground floor windows
Address **92 Rectory Road Farnborough Hampshire GU14 7HT**

Application No 21/00312/TPO Ward: Fernhill
Applicant: Mr Martin
Decision: **Permission Granted**
Decision Date: 28 May 2021
Proposal: One Oak (T1 of TPO 455) reduce and re-shape crown by no more than 3 metres
Address **8 The Findings Farnborough Hampshire GU14 9EG**

Application No 21/00315/FULPP Ward: Empress
Applicant: Mr & Mrs Pemberton
Decision: **Permission Granted**
Decision Date: 21 May 2021
Proposal: Erection of a single storey rear extension and conversion of garage to provide a habitable room
Address **59 Marrowbrook Lane Farnborough Hampshire GU14 0BB**

Application No 21/00317/FULPP Ward: Knellwood
Applicant: Mr I Rennie
Decision: **Permission Granted**
Decision Date: 21 May 2021
Proposal: Demolition of existing garage and carport and erection of a single storey front and side extension and erection of an outbuilding in rear garden
Address **77 Ashley Road Farnborough Hampshire GU14 7HD**

Application No 21/00318/FULPP Ward: Knellwood
Applicant: Mr Lee McGhie
Decision: **Permission Granted**
Decision Date: 21 May 2021
Proposal: Formation of loft conversion with dormer to rear roof slope and 3 roof lights to front roof slope
Address **18 Knightwood Close Farnborough Hampshire GU14 6HS**

Application No 21/00319/PDC Ward: St John's
Applicant: Mrs Louise Wallis
Decision: **Development is Lawful**
Decision Date: 20 May 2021
Proposal: Lawful Development Certificate for proposed development: Erection of a single storey rear extension
Address **14 Chiltern Close Farnborough Hampshire GU14 9SF**

Application No 21/00320/TPO Ward: Fernhill
Applicant: Mrs Alison Carpenter
Decision: **Permission Granted**
Decision Date: 28 May 2021
Proposal: One Beech (T13 of TPO 426A) reduce crown by no more than 3 metres, crown thin by no more than 10% and crown lift by no more than 6 metres from ground level. One Oak (T12 of TPO 426A) crown reduce by no more than 1 metre
Address **1 Rowans Close Farnborough Hampshire GU14 9EJ**

Application No 21/00323/FULPP Ward: Rowhill
Applicant: Mr M Flynn
Decision: **Permission Granted**
Decision Date: 14 June 2021
Proposal: Erection timber framed garage to side of dwelling
Address **211 Weybourne Road Aldershot Hampshire GU11 3NE**

Application No 21/00324/FULPP Ward: St Mark's
Applicant: Mr Mark Ferris
Decision: **Permission Granted**
Decision Date: 05 July 2021
Proposal: Erection of 4no. 20ft containers for ancillary uses associated with the existing industrial buildings.
Address **3 - 5 Voyager Park Dingley Way Farnborough Hampshire GU14 6FF**

Application No 21/00325/FULPP Ward: West Heath
Applicant: Mr & Mrs Alun Evans
Decision: **Permission Granted**
Decision Date: 04 June 2021
Proposal: Erection of a single storey rear extension and changes to front elevation fenestration
Address **182 West Heath Road Farnborough Hampshire GU14 8PD**

Application No 21/00326/FULPP Ward: Cove And Southwood
Applicant: Mr And Mrs Phillips
Decision: **Permission Granted**
Decision Date: 22 June 2021
Proposal: Erection of a single storey front extension and conversion of existing garage to a habitable room
Address **8 The Shrubbery Farnborough Hampshire GU14 0RQ**

Application No 21/00327/FULPP Ward: North Town
Applicant: Ms Tara McIntosh
Decision: **Permission Granted**
Decision Date: 02 June 2021
Proposal: Formation of a hard standing, pavement cross over and dropped kerb
Address **6 Deadbrook Lane Aldershot Hampshire GU12 4TY**

Application No 21/00331/FULPP Ward: Aldershot Park
Applicant: Trudy Nix And David Haines
Decision: **Permission Refused**
Decision Date: 18 June 2021
Proposal: Construction of an attached dwelling to the existing semi-detached property to create a terrace of 3 following the demolition of existing detached garage.
Address **71 Tongham Road Aldershot Hampshire GU12 4AR**

Application No 21/00335/FULPP Ward: Empress
Applicant: Mr Harvinder Thethy
Decision: **Permission Granted**
Decision Date: 08 June 2021
Proposal: Demolition of existing conservatory, rear extension and detached garage and erection of a single storey side/rear extension
Address **16 Leopold Avenue Farnborough Hampshire GU14 8NJ**

Application No 21/00338/FULPP Ward: Aldershot Park
Applicant: Mr And Mrs Williams
Decision: **Permission Granted**
Decision Date: 22 June 2021
Proposal: Erection of a conservatory to rear
Address **10 Newcome Place Aldershot Hampshire GU12 4AH**

Application No 21/00340/FULPP Ward: Cove And Southwood
Applicant: Mr N Brown
Decision: **Permission Granted**
Decision Date: 22 June 2021
Proposal: Erection of a first floor rear extension
Address **23 Cranleigh Court Farnborough Hampshire GU14 0HE**

Application No 21/00341/FULPP Ward: Fernhill
Applicant: MR PATRICK WARD
Decision: **Permission Granted**
Decision Date: 21 May 2021
Proposal: Erection of a single storey garage extension to side
Address **348 Fernhill Road Farnborough Hampshire GU14 9EF**

Application No 21/00343/FULPP Ward: St Mark's
Applicant: Mr P Pike
Decision: **Permission Granted**
Decision Date: 17 June 2021
Proposal: Erection of a single storey front and two storey side extension
Address **88 York Road Farnborough Hampshire GU14 6NE**

Application No 21/00344/REVPP Ward: Knellwood
Applicant: Mr & Mrs Williams
Decision: **Permission Granted**
Decision Date: 23 June 2021
Proposal: Relief of condition 16 attached to planning permission Ref: 93/00522/FUL dated 6th July 1995 to allow conversion of existing garage to a habitable room
Address **30 Whitby Close Farnborough Hampshire GU14 6TR**

Application No 21/00345/TPOPP Ward: Cove And Southwood
Applicant: SGN Ltd
Decision: **Permission Granted**
Decision Date: 09 June 2021
Proposal: One Oak (T1 of TPO 329) lateral reduction by no more than 4 metres
Address **16 Bridge Road Farnborough Hampshire GU14 0HS**

Application No 21/00346/FULPP Ward: Rowhill
Applicant: Mr Pete Coxall
Decision: **Permission Granted**
Decision Date: 22 June 2021
Proposal: Retention of a recently constructed detached oak framed garage,
measuring 4.3m (width) x 7.8m (length) x 4.1m (height)
Address **55 Cranmore Lane Aldershot Hampshire GU11 3AN**

Application No 21/00349/FUL Ward: North Town
Applicant: Christopher Nash
Decision: **Permission Granted**
Decision Date: 18 June 2021
Proposal: Retrospective planning permission for a 1.8 metre high garden fence to
front and side boundary
Address **98 Woodland Walk Aldershot Hampshire GU12 4FF**

Application No 21/00350/ADVPP Ward: St Mark's
Applicant: Mr Stephen Jones
Decision: **Permission Granted**
Decision Date: 04 June 2021
Proposal: Display of externally illuminated fascia sign, internally illuminated double
sided forecourt totem sign and three non-illuminated pole mounted
parking signs
Address **3 Queens Road Farnborough Hampshire GU14 6DJ**

Application No 21/00351/FULPP Ward: St John's
Applicant: Mr Alexandru Ionas
Decision: **Permission Granted**
Decision Date: 22 June 2021
Proposal: Erection of a first floor side extension and single storey rear extension
Address **15 Marjoram Close Farnborough Hampshire GU14 9XB**

Application No 21/00352/TPOPP Ward: Knellwood
Applicant: Ms Gabrielle Gache
Decision: **Permission Granted**
Decision Date: 15 June 2021
Proposal: Remove and replace the two dead Pines (1 and 2 on submitted plan) at the back of the property and the Pine overhanging the house (3 as per submitted plan). All trees are part of group G32 of TPO 439A
Address **86 Cambridge Road East Farnborough Hampshire GU14 6QX**

Application No 21/00354/TPOPP Ward: Empress
Applicant: Mrs Kalkat
Decision: **Permission Granted**
Decision Date: 09 June 2021
Proposal: One Beech tree (T1 of TPO 316) reduce by no more than 3 metres
Address **26 Pierrefondes Avenue Farnborough Hampshire GU14 8NF**

Application No 21/00355/ADV Ward: Wellington
Applicant: Mr Paul Vickers
Decision: **Permission Granted**
Decision Date: 26 May 2021
Proposal: Installation of nine totems relating to The Heritage Trail
Address **Proposed Heritage Trail Signage Marker Adj. Wellington Monument, Westgate, Manor Park, Princes Gardens, Railway Station, Military Museum, Napier Gardens, North Lane, Military Cemetery Aldershot Hampshire**

Application No 21/00357/TPOPP Ward: St John's

Applicant: Mr Brian Edwards

Decision: **Permission Granted**

Decision Date: 15 June 2021

Proposal: One Oak (part of group G17 of TPO 355A) nearest 13 Kingfisher Close crown reduced by no more than 3 metres to remove dead wood and ivy (see photos DSCF 5039 & DSCF 5040) . Two Oak trees (also group G17) nearest Nightingale Close reduction of branches overhanging road by no more than five metres (see photos DSCF 5037 & DSCF 5038)

Address **Land Affected By TPO 355A - At Kingfisher Close, Between Minley Road, Woodlands Road And Nightingale Close Farnborough Hampshire**

Application No 21/00359/FUL Ward: Fernhill

Applicant: Mr & Mrs Manhas

Decision: **Permission Granted**

Decision Date: 24 June 2021

Proposal: Erection of single storey rear extension conversion of existing garage to a habitable room

Address **52 Ashbury Drive Blackwater Camberley Hampshire GU17 9HH**

Application No 21/00362/FULPP Ward: Cherrywood

Applicant: The Prospect Trust (The Sixth Form Colle

Decision: **Permission Granted**

Decision Date: 07 July 2021

Proposal: Installation of air-handling unit on south side of existing Sports Hall building within 2-metre high hit & miss fenced enclosure

Address **The Sixth Form College Prospect Avenue Farnborough Hampshire GU14 8JX**

Application No 21/00363/FULPP Ward: North Town
Applicant: Jack Thursby
Decision: **Permission Granted**
Decision Date: 28 May 2021
Proposal: Demolition of existing porch and erection of a single storey front extension
Address **21 Anglesey Road Aldershot Hampshire GU12 4RF**

Application No 21/00364/FULPP Ward: Manor Park
Applicant: Mrs Fahmida Mandozai
Decision: **Permission Refused**
Decision Date: 18 June 2021
Proposal: Erection of first floor side extension
Address **16 Churchill Avenue Aldershot Hampshire GU12 4JR**

Application No 21/00366/FULPP Ward: Rowhill
Applicant: Mr Oliver Cluskey
Decision: **Permission Granted**
Decision Date: 08 July 2021
Proposal: Erection of a two storey rear extension
Address **8 Cranmore Lane Aldershot Hampshire GU11 3AS**

Application No 21/00367/FULPP Ward: Aldershot Park
Applicant: Mr Kaleem Anjum
Decision: **Permission Granted**
Decision Date: 23 June 2021
Proposal: Erection of two-storey side extension following demolition of existing attached garage
Address **146 Tongham Road Aldershot Hampshire GU12 4AT**

Application No 21/00371/TPOPP Ward: Knellwood
Applicant: Mr McBain
Decision: **Permission Granted**
Decision Date: 15 June 2021
Proposal: Oak (T1) - Reduce height and sides by no more than 2m and lift to no more than 5m in order to reduce shading and overhang on adjoining property and remove deadwood (T5 of TPO350A)
Address **2 Chalfont Drive Farnborough Hampshire GU14 6SJ**

Application No 21/00373/FULPP Ward: Empress
Applicant: Mr and Mrs Woodhams
Decision: **Permission Granted**
Decision Date: 23 June 2021
Proposal: Proposed single storey and rear extensions to existing Annex and proposed single storey rear extension to existing detached garage to form music studio
Address **1 Empress Avenue Farnborough Hampshire GU14 8LU**

Application No 21/00377/FULPP Ward: North Town
Applicant: Mr & Mrs N Reeks
Decision: **Permission Granted**
Decision Date: 05 July 2021
Proposal: Erection of a first floor rear extension
Address **139 Newport Road Aldershot Hampshire GU12 4PY**

Application No 21/00379/FULPP Ward: Fernhill
Applicant: Mr Vernon Barnard
Decision: **Permission Granted**
Decision Date: 02 June 2021
Proposal: Erection of a single storey rear extension
Address **224 Pinewood Park Farnborough Hampshire GU14 9LG**

Application No 21/00380/CONDPP Ward: Wellington

Applicant: Other Grainger (Aldershot) Ltd and Secret

Decision: **Permission Granted**

Decision Date: 16 June 2021

Proposal: Details pursuant to condition 12 (trees) attached to Outline Planning Permission 12/00958/OUT dated 10th March 2014 in respect of Tree Works to 1 X Common Line (Tree 1 HGR Tag.No. 3601) on southern side of Hope Grants Road (reduce to 4m height and maintain as pollard).

Address **Street Record Hope Grant's Road Wellesley Aldershot Hampshire**

Application No 21/00383/FUL Ward: Rowhill

Applicant: Mrs Harding

Decision: **Permission Granted**

Decision Date: 08 June 2021

Proposal: Erection of conservatory to side

Address **Ground Floor Flat 20 Lansdowne Road Aldershot Hampshire GU11 3ER**

Application No 21/00384/PDCPP Ward: Knellwood

Applicant: Mr and Mrs Mark Bonnet

Decision: **Development is Lawful**

Decision Date: 06 July 2021

Proposal: Proposed Development Certificate: Erection of an outbuilding

Address **173 Sycamore Road Farnborough Hampshire GU14 6RF**

Application No 21/00386/FULPP Ward: Knellwood

Applicant: Mr and Mrs Evans

Decision: **Permission Granted**

Decision Date: 05 July 2021

Proposal: Erection of a single storey rear extension and alterations to fenestration

Address **18 Fellows Road Farnborough Hampshire GU14 6NX**

Application No 21/00388/FULPP Ward: Manor Park
Applicant: Ms Jennifer Rendell
Decision: **Permission Granted**
Decision Date: 01 July 2021
Proposal: Erection of a single storey rear extension following the removal of existing conservatory
Address **1 Laurel Gardens Aldershot Hampshire GU11 3TQ**

Application No 21/00389/FUL Ward: Knellwood
Applicant: Jason And Rebecca Collett
Decision: **Permission Granted**
Decision Date: 04 June 2021
Proposal: Erection of a single storey side/rear extension
Address **84 Manor Road Farnborough Hampshire GU14 7HL**

Application No 21/00390/FULPP Ward: Cherrywood
Applicant: Mr And Mrs Blackman
Decision: **Permission Granted**
Decision Date: 09 July 2021
Proposal: Erection of a single storey side and rear extension
Address **3 Homelea Close Farnborough Hampshire GU14 8HH**

Application No 21/00395/FULPP Ward: Aldershot Park
Applicant: A Carter
Decision: **Permission Granted**
Decision Date: 06 July 2021
Proposal: Erection of an attached garage
Address **24 Whyte Avenue Aldershot Hampshire GU12 4AD**

Application No 21/00396/FULPP Ward: Manor Park

Applicant: Mr Daniel Harmour

Decision: **Permission Granted**

Decision Date: 06 July 2021

Proposal: Erection of a single storey side and rear extension

Address **15 St Georges Road Aldershot Hampshire GU12 4LD**

Application No 21/00397/FULPP Ward: Knellwood

Applicant: Mrs Emma Wright

Decision: **Permission Granted**

Decision Date: 05 July 2021

Proposal: Erection of a single storey rear extension with new patio area

Address **Whiteways 40 Manor Road Farnborough Hampshire GU14 7EU**

Application No 21/00399/FUL Ward: Knellwood

Applicant: Mrs Lewry

Decision: **Permission Granted**

Decision Date: 16 June 2021

Proposal: Erection of roof canopy to front elevation

Address **15 Stourhead Close Farnborough Hampshire GU14 7HF**

Application No 21/00401/FULPP Ward: Empress

Applicant: LCP Real Estate Limited

Decision: **Permission Granted**

Decision Date: 23 June 2021

Proposal: Change of use from Use Class B8 (Storage & Distribution) to Use Class Eg (ii and iii) (Uses which can be carried out in a residential area without detriment to its amenity: Research & Development of products or processes and Industrial processes)

Address **2 Eelmoor Road Farnborough Hampshire GU14 7QN**

Application No 21/00403/TPOPP Ward: Knellwood
Applicant: Mr Myland
Decision: **Permission Granted**
Decision Date: 24 June 2021
Proposal: One Cypress (T1 on submitted plan, T7 of TPO 296A) tip reduce by no more than 1.5 metres 5 branches as per submitted photo 1
Address **41 The Crescent Farnborough Hampshire GU14 7AR**

Application No 21/00407/FULPP Ward: West Heath
Applicant: MR RICHARD HALE
Decision: **Permission Granted**
Decision Date: 10 June 2021
Proposal: Demolition of existing single detached garage and erection of single storey side extension
Address **28 Romaine Close Farnborough Hampshire GU14 8PB**

Application No 21/00408/TPO Ward: St John's
Applicant: Mrs Sandra Gardner
Decision: **Permission Granted**
Decision Date: 24 June 2021
Proposal: T1 Oak and T2 Oak - Crown reduce by no more than 2 metres, T3 Oak - Fell. Reduction for tree maintenance and prevent overhanging of adjacent footpath. Fell tree as dead. (Trees within G1 of TPO409A)
Address **9 Marjoram Close Farnborough Hampshire GU14 9XB**

Application No 21/00409/TPO Ward: St John's

Applicant: Mr Jeffrey Pyatt

Decision: **Permission Granted**

Decision Date: 25 June 2021

Proposal: Remove one dead Holly (T4 of TPO 167) and one decaying Beech (T2 of TPO 167) and remove deadwood and Ivy from 7 TPO trees (T1,T3,T5,T6,T7,T8 and T9 of TPO 167) and crown reduce by no more than 4m one Beech T3 and one Oak T6 of TPO167 as per submitted health and safety survey.

Address **Parish Church Of St John The Baptist St Johns Road Farnborough Hampshire**

Application No 21/00417/FULPP Ward: Wellington

Applicant: Mr & Mrs Rente

Decision: **Permission Granted**

Decision Date: 22 June 2021

Proposal: Erection of glass canopy on rear elevation

Address **9 Inkerman Lane Wellesley Aldershot Hampshire GU11 4AB**

Application No 21/00421/TPO Ward: St John's

Applicant: Ms Maria Calland

Decision: **Permission Granted**

Decision Date: 24 June 2021

Proposal: Oak - Reduce overhanging branches by no more than 2 meters (T25 of TPO355A)

Address **Land Affected By TPO 355A - At Kingfisher Close, Between Minley Road, Woodlands Road And Nightingale Close Farnborough Hampshire**

Application No 21/00422/FULPP Ward: Empress
Applicant: Mr & Mrs Turl
Decision: **Permission Granted**
Decision Date: 16 June 2021
Proposal: Erection of a first floor front extension with 1 roof light and a single storey rear extension with 2 roof lanterns
Address **30 Pierrefondes Avenue Farnborough Hampshire GU14 8NF**

Application No 21/00423/FULPP Ward: St John's
Applicant: Mr And Mrs Smith
Decision: **Permission Granted**
Decision Date: 29 June 2021
Proposal: Erection of a single storey rear extension
Address **2 Haskins Drive Farnborough Hampshire GU14 9FP**

Application No 21/00424/REXPD Ward: Cherrywood
Applicant: Mr G Bull
Decision: **Prior approval is NOT required**
Decision Date: 23 June 2021
Proposal: Erection of a single storey extension measuring 3.5m from the original rear wall, 2.8m to the eaves and 3m in overall height
Address **13 Saunton Gardens Farnborough Hampshire GU14 8UN**

Application No 21/00425/CONDPP Ward: Wellington
Applicant: Mr Jarrod Spencer
Decision: **Permission Granted**
Decision Date: 01 July 2021
Proposal: Submission of details part pursuant (Plots 1-8) to condition 5 (noise mitigation) of reserved matters 17/00494/REMPP dated 9th November 2017 (Part Development Zone D McGrigor).
Address **Zone D - McGrigor Aldershot Urban Extension Alisons Road Aldershot Hampshire**

Application No 21/00426/FULPP Ward: Rowhill
Applicant: Nick Peters
Decision: **Permission Granted**
Decision Date: 25 June 2021
Proposal: Erection of a single storey rear extension
Address **238 Weybourne Road Aldershot Hampshire GU11 3NF**

Application No 21/00428/FULPP Ward: Manor Park
Applicant: Mrs Sara Kitching
Decision: **Permission Granted**
Decision Date: 18 June 2021
Proposal: Demolition of existing conservatory and erection of a single storey rear extension
Address **65 Highfield Gardens Aldershot Hampshire GU11 3DB**

Application No 21/00430/FULPP Ward: St John's
Applicant: Bernadette and Alan Bashford-Payne and
Decision: **Permission Granted**
Decision Date: 01 July 2021
Proposal: Erection of a two storey side extension and changes to fenestration
Address **44 Whetstone Road Farnborough Hampshire GU14 9SU**

Application No 21/00431/TPO Ward: St John's
Applicant: Mr Barry Smallbone
Decision: **Permission Granted**
Decision Date: 02 July 2021
Proposal: T1 Oak (T22 of TPO365) - cutback to provide no more than 2.5m clearance from the fabric of the property and crown lift to no more than 2.5m all round, T2 Oak (T21 of TPO365) - Crown lift by no more than 2.5m all round and remove deadwood, T3 Oak (T20 of TPO 365) - remove deadwood overhanging boundary line
Address **10 Pinewood Crescent Farnborough Hampshire GU14 9TP**

Application No 21/00445/FULPP Ward: Rowhill

Applicant: Mr and Mrs J Finlay

Decision: **Permission Granted**

Decision Date: 01 July 2021

Proposal: Erection of single storey front extension and porch

Address **18 Manor Road Aldershot Hampshire GU11 3DG**

Application No 21/00446/REVPP Ward: Cove And Southwood

Applicant: Mr and Mrs K Newton

Decision: **Permission Granted**

Decision Date: 01 July 2021

Proposal: Relief of Condition 17 of planning permission RSH03494/4 dated 03.12.1986 to allow the conversion of garage to form a habitable room

Address **14 The Copse Farnborough Hampshire GU14 0QD**

Application No 21/00450/TPOPP Ward: Cove And Southwood

Applicant: Miss Karen Wood

Decision: **Permission Granted**

Decision Date: 02 July 2021

Proposal: Weeping Willow - crown lift by no more than 2 meters, to provide suitable clearance from ground level (T2 of TPO 302A)

Address **30 Holly Road Farnborough Hampshire GU14 0EA**

Application No 21/00455/REVPP Ward: Cove And Southwood

Applicant: Patrick Chung

Decision: **Permission Granted**

Decision Date: 01 July 2021

Proposal: Relief of condition 13 of Planning permission 96/00079/FUL dated 03.10.96 to allow the conversion of garage to habitable accommodation

Address **28 Broadmead Farnborough Hampshire GU14 0RJ**

Application No 21/00456/PDCPP Ward: Aldershot Park
Applicant: Tracy London
Decision: **Development is Lawful**
Decision Date: 01 July 2021
Proposal: Lawful Development Certificate For Proposed Development: Formation of rear dormer with 3 lantern lights and 2 front and 2 rear facing roof lights
Address **122 Ash Road Aldershot Hampshire GU12 4EY**

Application No 21/00458/FULPP Ward: Knellwood
Applicant: Mr R Eredla
Decision: **Permission Granted**
Decision Date: 01 July 2021
Proposal: Retention and completion of conservatory to rear
Address **6 Stourhead Close Farnborough Hampshire GU14 7HF**

Application No 21/00464/FULPP Ward: Rowhill
Applicant: Heath
Decision: **Permission Granted**
Decision Date: 01 July 2021
Proposal: Demolition of existing single storey side infill extension and erection of a new single storey side infill extension
Address **39 Rowhill Avenue Aldershot Hampshire GU11 3LS**

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Development Management Committee
21 July 2021

Planning Report No.EPSH2120

Appeals Progress Report

1. Appeal decision

1.1 68 Pierrefondes Avenue, Farnborough

Appeal against refusal of planning permission for Erection of detached garage to front. Permission was refused on 7th January 2021 for the following reasons

- 1 The proposed garage, due to its siting, scale and design would fail to respect the established building line and prevailing character of this section Pierrefondes Avenue. Due to the open nature of the front garden and adjoining gardens, the proposal would result in a highly visible and obtrusive development within the street scene, at odds with and harmful to the character and appearance of Pierrefondes Avenue. The development therefore conflicts with the objectives of Policy DE1 (Design in the Built Environment) of the adopted Rushmoor Local Plan (2014-2032) and Supplementary Planning Document 'Home Improvements and Extensions February 202

- 1.2 In determining the appeal, the Inspector considered the main issues to be the building line, open plan of the area, design and mass and scale.

He states 'Although the building line is not entirely consistent for all dwellings and there is a predominance of hard surfaced parking and turning areas the open nature of the street is softened by tree planting. The position of the property is close to a bend in the road and the garage would be prominent on the approach from either direction.

The introduction of a flat roofed garage of this dimension would significantly erode the open appearance of the appeal site and the surrounding area. Moreover, due to its scale and massing, it would appear as an incongruous form of development poorly related to existing buildings and at odds with the open character and appearance of this part of Pierrefondes Avenue.

DECISION: APPEAL DISMISSED

2. Appeal Withdrawn

2.1 68 Salisbury Road Farnborough

- 2.1.1 An appeal against refusal of a Certificate of Lawful Existing Use (Our Ref: 19/00237/EDC) in respect of use of the dwellinghouse as a House in Multiple Occupation with 8 Bedsitting Rooms and Shared Facilities has been withdrawn by the appellant.

DECISION: APPEAL WITHDRAWN

3. Recommendation

3.1 It is recommended that the report be **NOTED**.

Tim Mills

Head of Economy, Planning and Strategic Housing

**Development Management Committee
21st July 2021**

**Head of Economy, Planning and
Strategic Housing
Report No. EPSH2121**

Enforcement and possible unauthorised development

1. Introduction

This report considers current matters of enforcement and possible unauthorised development. Authority to take planning enforcement action is delegated to the Head of Economy, Planning and Strategic Housing. Matters that require a Committee decision are reported, together with delegated decisions to take action.

It is not an offence to carry out works without planning permission and the National Planning Policy Framework (NPPF) states that enforcement action is discretionary and that local planning authorities should act proportionately in responding to suspected breaches of planning control. Local authorities are also advised to take action only where it is appropriate to do so. The purpose of this report is therefore to report to Committee decisions with regard to enforcement action and/or to seek approval for further action.

2. Policy

The Council's Approach to Planning Enforcement is set out in the adopted Local Enforcement Plan. The essential thrust of the Plan is that we will not condone wilful breaches of planning law, but we will exercise our discretion regarding enforcement action if it is considered expedient to do so. Our priorities with regard to enforcement are:

- To focus our resources to ensure that the most pressing and harmful issues are addressed appropriately.
- In determining the expediency of enforcement action we will have regard to the seriousness of any harm which is evident as a result of a breach of planning control.
- Matters which can potentially have a serious impact on the safety or amenity of residents or occupiers of property or on the natural environment will take priority over minor infractions and matters of dispute between neighbours.

3. Items

Each item contains a full description, details of any investigation, and an assessment of the situation and concludes with a recommendation.

This report relates to:

Item 1 Delegated Decision on Enforcement Action

All information, recommendations and advice contained in this report are understood to be correct at the time of writing this report. Any change in circumstances will be updated verbally at the Committee meeting. Where a recommendation is either altered or substantially amended between preparing the report and the Committee

meeting, a separate sheet will be circulated at the meeting to assist Members in following the modifications proposed.

4. Human rights

The Human Rights Act 1998 (the Act) has incorporated part of the European Convention on Human Rights into English law. Any recommendation either to take or not to take enforcement action has been assessed to make sure that the decision is compatible with the Act. If there is a potential conflict this will be highlighted in the individual report on the relevant item.

5. Financial implications

There are no direct financial implications arising from this report. However, in the event of an appeal, further resources will be put towards defending the Council's decision. Rarely, and in certain circumstances, decisions on planning enforcement cases result in the Council facing an application for costs arising from a planning appeal. Officers will aim to alert Members where this may be likely and provide appropriate advice in such circumstances.

Tim Mills
Head of Economy, Planning and Strategic Housing

BACKGROUND PAPERS

Rushmoor Local Plan (2019)

Rushmoor Local Enforcement Plan (2016)

National Planning Policy Framework (NPPF)

Item 1

Delegated Decisions to take Enforcement Action

The Following Decision is reported for **INFORMATION** purposes only. It relates to a decision to take action that has already been made by the Head of Economy, Planning and Strategic Housing in accordance with the Council's adopted Scheme of Delegation.

If Members wish to have more details about the decision on any of the cases below, please contact John W Thorne (01252 398791) in advance of the Committee meeting.

Address	1 Blunden Road, Farnborough
Ward	West Heath
Decision	Issue an instruction to serve a Section 215 (Untidy Site) Notice
Decision Date	06/07/2021
Breach	Long-term failure to keep the external areas of the property tidy and free from thick overgrowth with weeds which is considered to have a material impact on the visual character and appearance of the area. The overgrowth has, this year, now completely covered the on-site parking spaces at the property such that it is no longer possible to park on the property. As such, it is considered appropriate for the Council to take enforcement action using s215 of the Town & Country Planning Act 1990 to require the external areas of the property to have the overgrowth of vegetation removed. See photograph overleaf.
Reasons	The property is a semi-detached bungalow located in a prominent position close to the junction of Blunden Road with West Heath Road. The property has been brought to the attention of the Council's Corporate Empty Homes Group and has an absentee owner whom is refusing to engage with the Council to keep the property tidy. In this respect the owner has been provided with ample opportunity to take the necessary steps in this respect.
Alternatives	The alternative of taking no action would allow the property to become more overgrown and unsightly in appearance and would not address the detrimental impact on the surroundings and visual amenity.
Case Officer	David Stevens
Associated Documents	Enforcement Reference 21/00103/UNTIDY.



1 Blunden Road, Farnborough

2. Recommendation

2.1 It is recommended that the report be **NOTED**.

Tim Mills

Head of Economy, Planning and Strategic Housing

Development Management Committee
21st July 2021

Planning Report No. EPSH2122

Esso Pipeline Project

1. Introduction

The Head of Economy, Planning and Strategic Housing will give a verbal update on the current position with regard to the Development Consent Order issued in respect of a the Major Infrastructure Project to renew and partially realign the Southampton to London fuel pipeline which crosses Rushmoor Borough.(Our Ref.19/00432/PINS).

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